

RESIDENTIAL HOUSING DEVELOPMENT
AT 8-10 COLLETT PARADE,
PARRAMATTA
(LOTS 20 & 21 DP 35120)

FOR



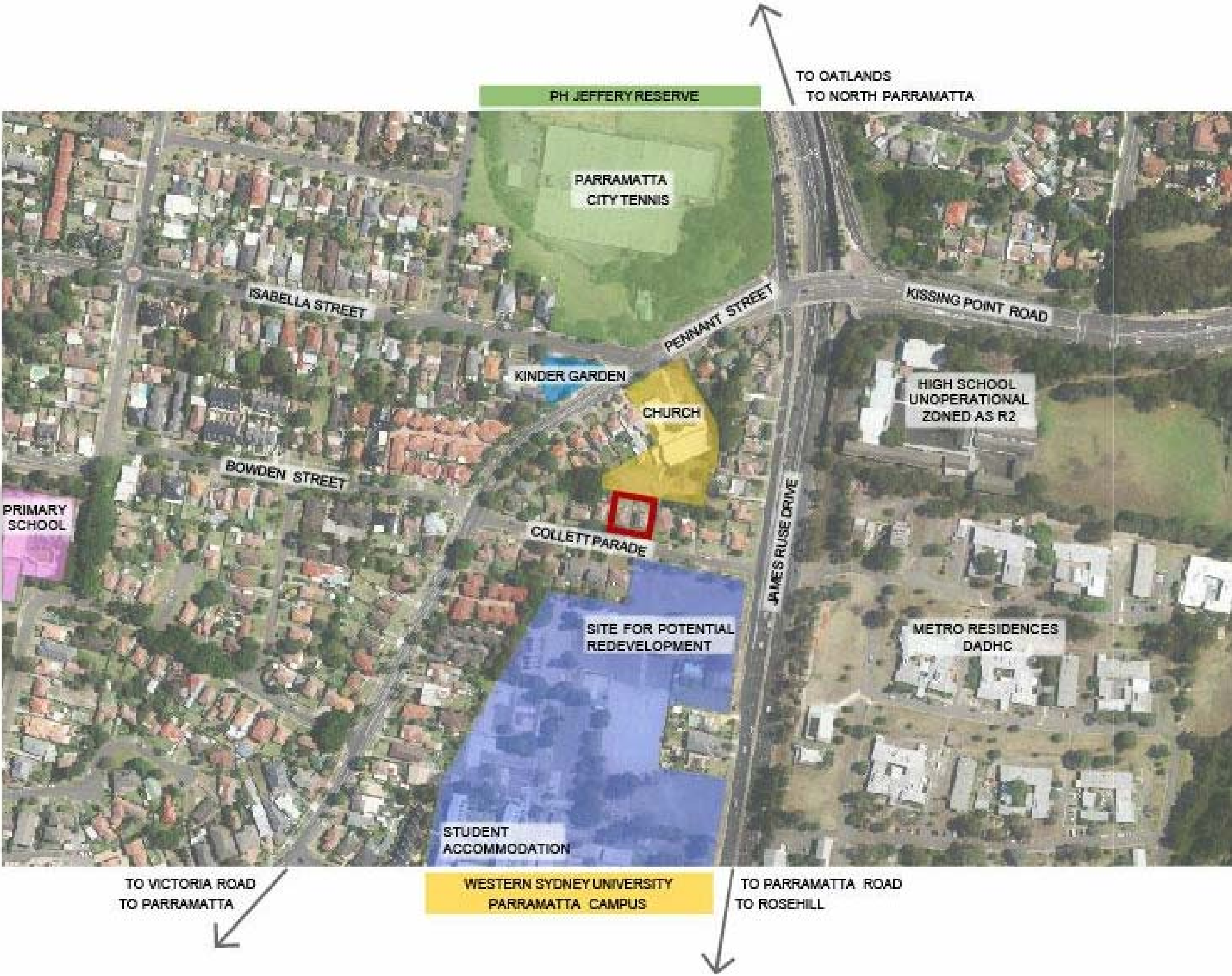
PROPOSED DEVELOPMENT DATA			
SITE AREA	1014 m ²		
GFA	1212 m ²		
NO. OF UNITS	16		
Total 1 bed units	6	38%	
Total 2 bed units	10	62%	

	Control	Required	Proposed
Setbacks			
Front	Parramatta DCP	5-9	5.8 (to building)
Side	Parramatta DCP	5-9	6
Rear	Parramatta DCP	15% length of site =4.9	6
Height	Parramatta LEP	11m	12.038 - 14.218m ABOVE N.G.
FSR	ARH SEPP	0.8:1 + 0.5 =1.3:1 (1318m ²)	1.19:1 (1212m ²)
Landscape	DCP	40% site area =405.6m ²	35% site area = 361m ²
Communal Space	SEPP 65	25% site area =253m ²	33% site area = 334m ²
Deep Soil Zone 15% of site with min. dim of 3m	ADG	7% site area =71m ²	31% site area = 317m ²
Solar 70% of dwellings to have 2 hours of sunlight to living areas and to associated private open space	ARH SEPP	70%	12 of 16 = 75%
Parking	ARH SEPP Accessible Area	5(1b) x0.4+11(2b) x0.5= 8	8 (2 Accessible)
	ARH SEPP Non - Accessible Area	5(1b) x0.5+11(2b) x1= 14	

Sheet List		
Sheet Number	Sheet Name	Current Revision
DA000	COVER SHEET	I
DA001	SITE PLAN	H
DA002	SITE ANALYSIS PLAN	H
DA003	CONTEXT PHOTOGRAPHS	H
DA004	NOTES	C
DA005	DEMOLITION PLAN	H
DA100	BASEMENT & GROUND PLANS	I
DA101	LEVELS 1 & 2 PLANS	H
DA102	LEVEL 3 & ROOF PLANS	H
DA200	ELEVATIONS NORTH & SOUTH	H
DA201	ELEVATIONS EAST & WEST	H
DA202	COLOUR SCHEDULE (DEAP RESPONSE)	H
DA300	SECTIONS	H
DA400	PERSPECTIVE VIEWS	H
DA500	SHADOW DIAGRAMS	H
DA501	LANDSCAPE, DEEP SOIL & COMMON OPEN SPACE PLANS	H
DA502	SOLAR & CROSS VENTILATION PLANS	H
DA503	GFA	G
DA600	SCHEDULES	H

Apartment Schedule					
Name	Level	Area	POS	Number of Beds	Internal Storage
Ground Floor					
UNIT 1	Ground Floor	52 m ²	14 m ²	1 Bed	3.3 m ³
UNIT 2	Ground Floor	52 m ²	15 m ²	1 Bed	2.7 m ³
UNIT 3	Ground Floor	73 m ²	25 m ²	2 Bed	7.0 m ³
UNIT 4	Ground Floor	73 m ²	25 m ²	2 Bed	7.0 m ³
Level 1					
UNIT 5	Level 1	52 m ²	13 m ²	1 Bed	3.3 m ³
UNIT 6	Level 1	70 m ²	14 m ²	2 Bed	5.9 m ³
UNIT 7	Level 1	73 m ²	12 m ²	2 Bed	7.0 m ³
UNIT 8	Level 1	73 m ²	12 m ²	2 Bed	7.0 m ³

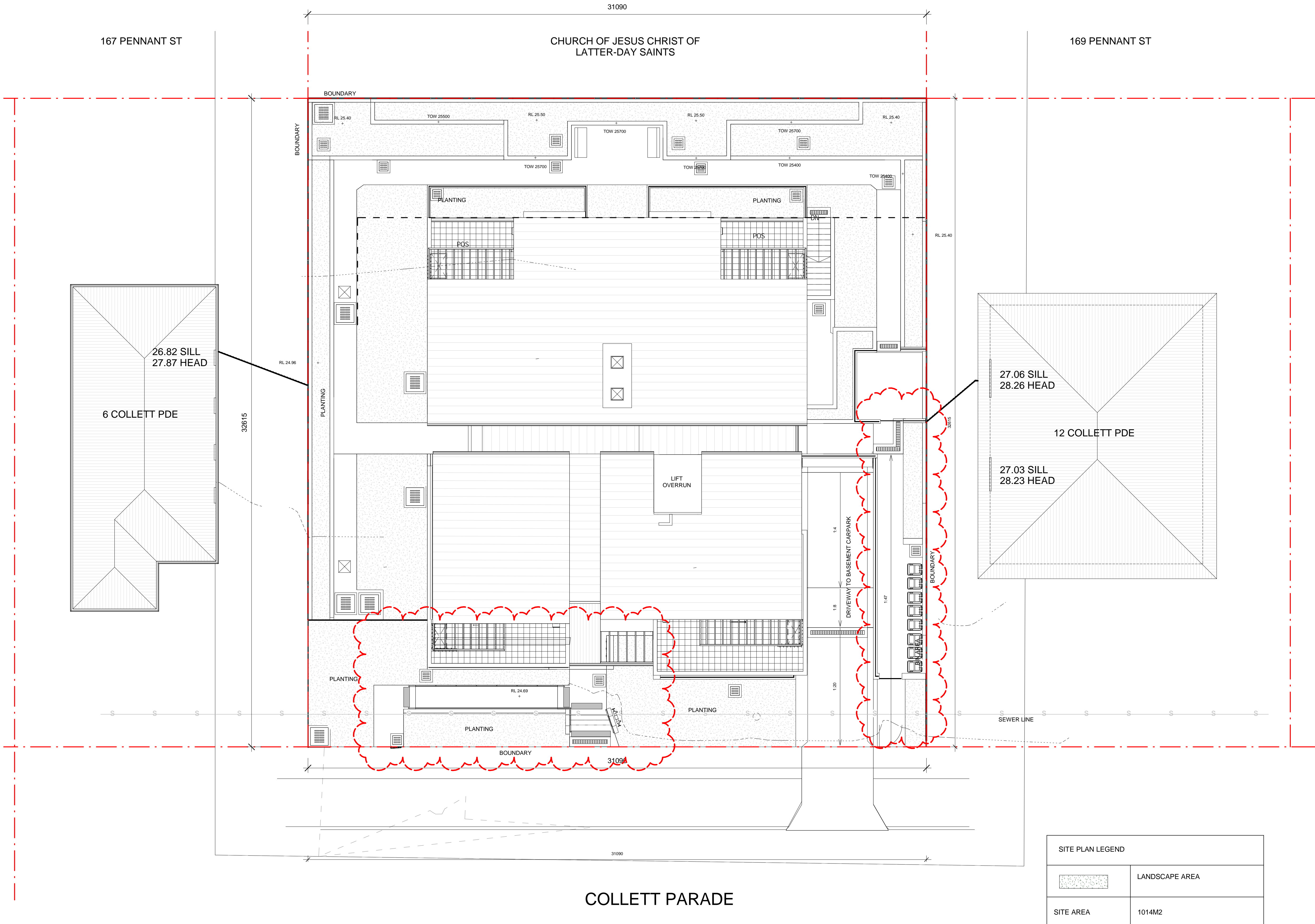
Apartment Schedule					
Name	Level	Area	POS	Number of Beds	Internal Storage
Level 2					
UNIT 9	Level 2	52 m ²	13 m ²	1 Bed	3.3 m ³
UNIT 10	Level 2	70 m ²	14 m ²	2 Bed	5.9 m ³
UNIT 11	Level 2	73 m ²	12 m ²	2 Bed	7.0 m ³
UNIT 12	Level 2	73 m ²	12 m ²	2 Bed	7.0 m ³
Level 3					
UNIT 13	Level 3	61 m ²	14 m ²	1 Bed	3.4 m ³
UNIT 14	Level 3	63 m ²	19 m ²	1 Bed	5.7 m ³
UNIT 15	Level 3	73 m ²	12 m ²	2 Bed	7.0 m ³
UNIT 16	Level 3	73 m ²	12 m ²	2 Bed	7.0 m ³
Grand total: 16					



COLLETT PARADE ELEVATION

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	A	CONSULTANT ISSUE	26/07/2018	structural/civil/ stormwater								
	B	UPDATED CLIENT ISSUE	10/08/2018									
	C	UPDATED CONSULTANT ISSUE	23/08/2018	electrical/hydraulic/ mechanical								
	D	ISSUE FOR CO-ORDINATION	11/09/2018	landscape								
	E	CLIENT ISSUE	13/09/2018	certifier								
	F	ISSUE FOR DA	28/09/2018	BASIX/Energy	traffic							
	G	STORMWATER UPDATE	27/02/2019									
	H	AMENDED DA	16/10/2019									
	I	REVISED DA ISSUE	12/12/2019									

DA



SITE PLAN LEGEND	
	LANDSCAPE AREA
	SITE AREA
	1014M2

NOTES

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- All footing, slabs, columns and beams to future detail. Refer to Structural Engineer's drawings.
- Mechanical ventilation to future detail. Refer to Mechanical Engineer's drawings.
- Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings.
- Drawings for Development Application only NOT FOR CONSTRUCTION

rev	amendments	date
A	CONSULTANT ISSUE	26/07/2018
B	UPDATED CLIENT ISSUE	10/08/2018
C	UPDATED CONSULTANT ISSUE	23/08/2018
D	ISSUE FOR CO-ORDINATION	11/09/2018
E	CLIENT ISSUE	13/09/2018
F	ISSUE FOR DA	28/09/2018
G	RAMP, FIRE HYDRANT + UNIT 2 BALCONY FENCE EXTENSION REVISIONS	16/10/2019
H	REVISED DA ISSUE	12/12/2019

consultants	
structural/civil/ stormwater	Michael Ell Consulting 02 98075355
electrical/hydraulic/ mechanical	Marline 02 49259300
landscape	Susan Stratton 02 95473157
certifier	Dix Gardner 02 82703500
BASIX/Energy	Sustainable Thermal Solutions 0420 312721
traffic	Varga Traffic Planning 02 9904 3224

north	
status	DA

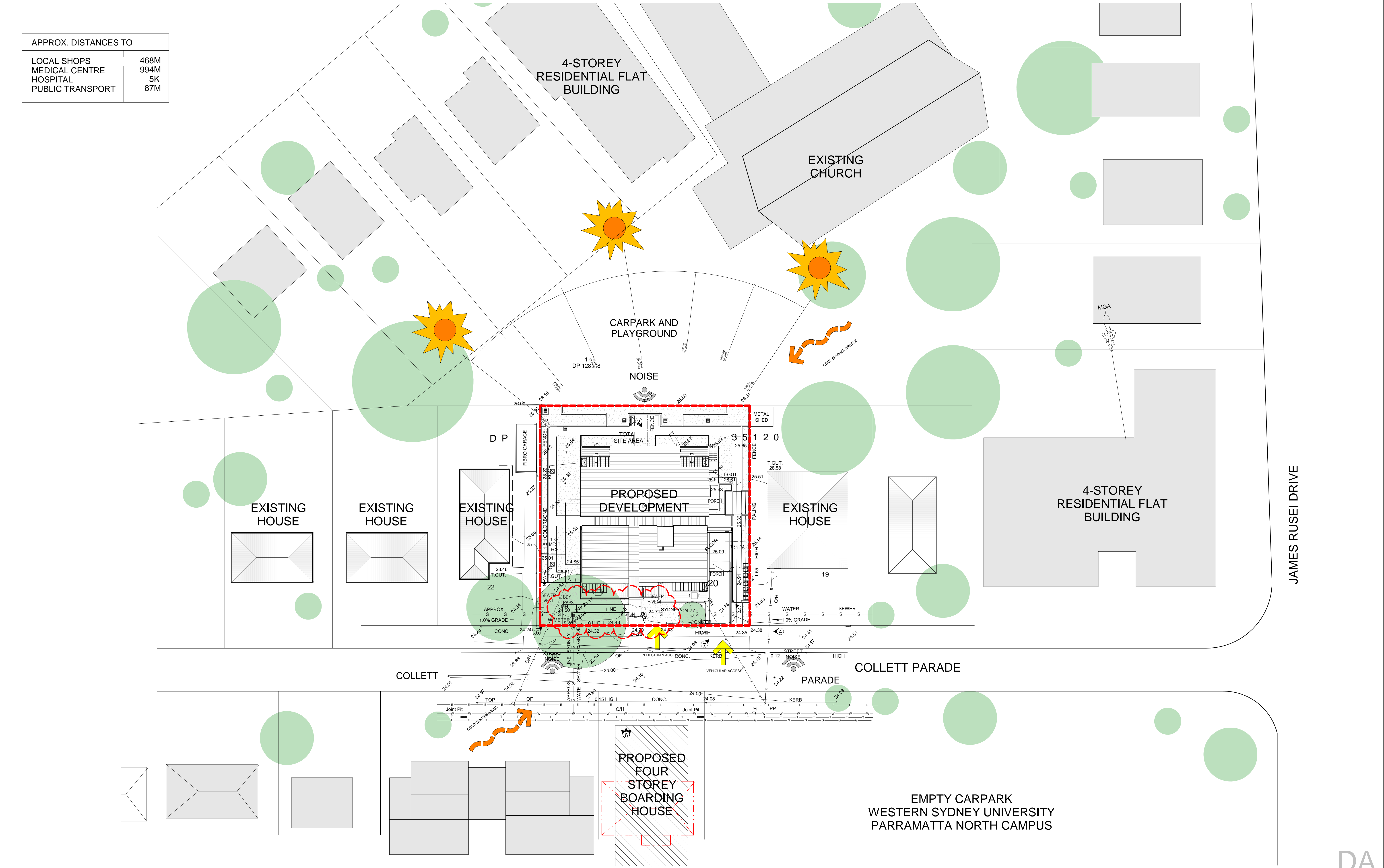


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project	RESIDENTIAL HOUSING DEVELOPMENT 8-10 COLLETT PARADE, PARRAMATTA
client	LAHC

project no.	2017 5430	file path	P:\2017 5430 Collett Pde Parramatta\02 DA\CAD ARCH\02 DA
drawn	AB/BC	date	10/09/2018
project dir		checked	SA
date plotted	12/12/2019	scale	1 : 100 @ A1
drawing no.	DA001	rev	H

DA



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PANORAMIC OF COLLETT PDE.



NEIGHBOURING DEVELOPMENT ALONG COLLETT PDE.



8 - 10 COLLETT PDE.



COLLETT PDE. LOOKING WEST



16 COLLETT PDE.

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	A	CONSULTANT ISSUE	26/07/2018	structural/civil/ stormwater	Michael Eli Consulting	02 98075355		<div>status</div> <div>DA</div>	<div>drawing no.</div> <div>LAHC</div>		<div>drawn</div> <div>AB/BC</div>			
	B	UPDATED CLIENT ISSUE	10/08/2018	electrical/hydraulic/ mechanical	Marline	02 49259300			<div>drawing title</div> <div>CONTEXT PHOTOGRAPHS</div>		<div>project dir</div> <div></div>			
	C	UPDATED CONSULTANT ISSUE	23/08/2018	landscape	Susan Stratton	02 95473157			<div>date</div> <div>10/09/2018</div>		<div>checked</div> <div>SA</div>			
	D	ISSUE FOR CO-ORDINATION	11/09/2018	certifier	Dix Gardner	02 82703500			<div>date plotted</div> <div>12/12/2019</div>		<div>scale</div> <div>NTS</div>		<div>rev</div> <div>H</div>	
	E	CLIENT ISSUE	13/09/2018	BASIS/Energy	Sustainable Thermal Solutions	0420 312721								
	F	ISSUE FOR DA	28/09/2018	traffic	Varga Traffic Planning	02 9904 3224								
	G	AMENDED DA	16/10/2019											
H	REVISED DA ISSUE	12/12/2019												

NatHERS Construction & Insulation Specifications:

	Construction	Insulation	Colour - Solar Absorptance	Other Detail/Requirements
External Walls	Cavity Brick	Plasterboard lined	R1.0	Light (<0.175)
	Cavity Brick	Plasterboard lined	R1.0	Dark (>0.71)
	Metal Cladding	Plasterboard lined	R2.0	Dark (>0.71)
				Level 4
Internal walls (within)	Single Brick	Plastered	None	
Internal walls (party)	Double Brick	Plasterboard lined	None	
Windows	Alum SG High Solar Gain Low-E: U = 5.40: SHGC = 0.49			Unit 9
	Alum SG Low Solar Gain Low-E: U = 5.60: SHGC = 0.36			Units 5 and 13
	Alum SG Clear: U = 6.70: SHGC = 0.70			All other units
Roof	Metal Deck	Reflective Foil	Dark (>0.71)	
Ceiling	Concrete	R2.0		Level 4
Floor Structure	Concrete	R2.0		Units 1, 2, 3 & 4
	Concrete	None		All other units
Floor Covering	Ceramic Tiles	Wet areas		
	Carpet	All other rooms		
Ceiling/Wall Penetrations	Must be sealed			

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water

- (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.
- (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).
- (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.
- (g) The pool or spa must be located as specified in the table.
- (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star > 4.5 but <= 6 L/min	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscap connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	no	no	no
None	-	-	-	-	-	-	-

(ii) Energy

- (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.
- (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 4 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Cooling			Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bedrooms/toilets	Each laundry	All hallways	No. of bedrooms &/or toilets	Main kitchen
1	-	-	-	-	1	1	yes	yes	yes	yes	0	yes

(iii) Thermal Comfort

- (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.
- (g) Where there is an in-slab heating or cooling system, the applicant must:
- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.
- (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	37.9	27.4
2	36.9	18.4
3	5.0	13.1
4	4.8	11.3
5	41.7	26.3
6	43.7	15.9
7	2.8	19.5
8	2.8	18.2
9	36.2	27.6
10	44.5	15.0
11	3.1	18.9
12	3.3	18.0
13	44.0	23.8
14	38.2	23.8
15	11.1	29.1
All other dwellings	10.2	29.5

(b) Common areas and central systems/facilities

- (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.

- (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common laundry facility

(ii) Energy

- (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation exhaust only	carbon monoxide monitor + 2-speed fan	fluorescent	time clock and motion sensors	No
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No
Storage	no mechanical ventilation	-	compact fluorescent	manual on / manual off	No
Ground floor lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No
Hallway/lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No

Central energy systems	Type	Specification
Lift (No. 1)	hydraulic	Number of levels (including basement): 5

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

- (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.

- (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	10000.0	To collect run-off from at least: - 346.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 100.0 square metres of common landscaped area on the site - car washing in 1 car washing bays on the site

- (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

Central energy systems	Type	Specification
Other	Common area clothes drying line installed?: yes	-

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

PROPOSED DEVELOPMENT DATA

SITE AREA	1014 m²	
GFA	1212 m²	
NO. OF UNITS	16	
Total 1 bed units	6	38%
Total 2 bed units	10	62%

	Control	Required	Proposed
Setbacks			
Front	Parramatta DCP	5-9	5.8 (to building)
Side	Parramatta DCP	5-9	6
Rear	Parramatta DCP	15% length of site =4.9	6
Height	Parramatta LEP	11m	12.038 - 14.218m ABOVE N.G.L
FSR	ARH SEPP	0.8:1 + 0.5 =1.3:1 (1318m²)	1.19:1 (1212m²)
Landscape	DCP	40% site area =405.6m²	35% site area = 361m²
Communal Space	SEPP 65	25% site area =253m²	33% site area = 334m²
Deep Soil Zone	ADG	7% site area =71m²	31% site area = 317m²
Solar	ARH SEPP	70%	12 of 16 = 75%
Parking	ARH SEPP Accessible Area ARH SEPP Non - Accessible Area	5(1b) x0.4+11(2b) x0.5= 8 5(1b) x0.5+11(2b) x1= 14	8 (2 Accessible)

BCA NOTES

C1.9 - Non-combustible building elements

All external walls and attachments must be non-combustible (Including awnings)

C2.7 - Separation by fire walls.

Required between the residential units.Required FRL is 90/90/90 loadbearing or -90/90 non-loadbearing

C2.9 - Seperation of classifications in different storeys

FRL's required,7a basement with class 6 Commercial tenancies, residential over, Refer to table 3 - Type A

Construction: minimum FRL of building elements

Floor of ground floors -90/90/90 with an acoustic rating of RW+Ctr>50 and Ln,w>62

C2.10 - Separation of lift shafts

Minimum FRL required is 120/120/120

C2.13 - Electricity supply system.

Ground,level 1 - 3. (C) Electrical riser shafts require fire separation walls being a minimum FRL of

120/120/120 load bearing or -120/120 non-loadbearing, from the Water and Comms cupboards and

hallways with -120/120 doors with smoke seals.

F1.4 - External above ground membranes

Balcony set downs must comply with AS4654, measured from the top of the finished external floor level to

the top of the internal flashed level.

All external areas to be waterproofed in accordance with AS4654 parts 1 and 2

NOTES	rev	amendments	date
1. This drawing is not to be scaled for dimensioning purposes. Use only figured dimensions.	A	ISSUE FOR DA	28/09/2018
2. LFA (Pacific) Pty Ltd. All rights reserved. This work is covered by copyright and cannot be reproduced or copied in any form or by any means without written permission of LFA (Pacific) Pty Ltd	B	AMENDED DA	16/10/2019
3. All footing, slabs, columns and beams to future detail. Refer to Structural Engineer's drawings.	C	REVISED DA ISSUE	12/12/2019
4. Mechanical ventilation to future detail. Refer to Mechanical Engineer's drawings			
5. Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings			
6. Drawings for Development Application only NOT FOR CONSTRUCTION			

consultants

structural/civil/ stormwater	Michael Eli Consulting	02 98075355
electrical/hydraulic/ mechanical	Marline	02 49259300
landscape	Susan Stratton	02 95473157
certifier	Dix Gardner	02 82703500
BASIX/Energy	Sustainable Thermal Solutions	0420 312721
traffic	Varga Traffic Planning	02 9904 3224

north

status

DA



LFA (PACIFIC) PTY LIMITED

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M PO BOX 399, EDGECLIFF NSW 2027 T 02 9327 8622 F 02 9327 8554
E lfa@lfa.com.au W www.lfa.com.au ABN 92 830 134 905 OM 150 8501 2008
NOMINATED ARCHITECTS A L F L E S T E R M O 2 1 2 6 S T E P H E N A N D E R S N O 5 7 6 4

project

RESIDENTIAL HOUSING DEVELOPMENT
8-10 COLLETT PARADE,
PARRAMATTA

client

LAHC

project no.

2017 5430

drawing title

NOTES

drawing no.

DA004

file path

P:\2017-5430 Collett Parade Parramatta\

65 DA\CAD ARCH\02 DA

drawn

AB

project dir

10/09/2018

date plotted

12/12/2019

scale

1 : 100

@ A1

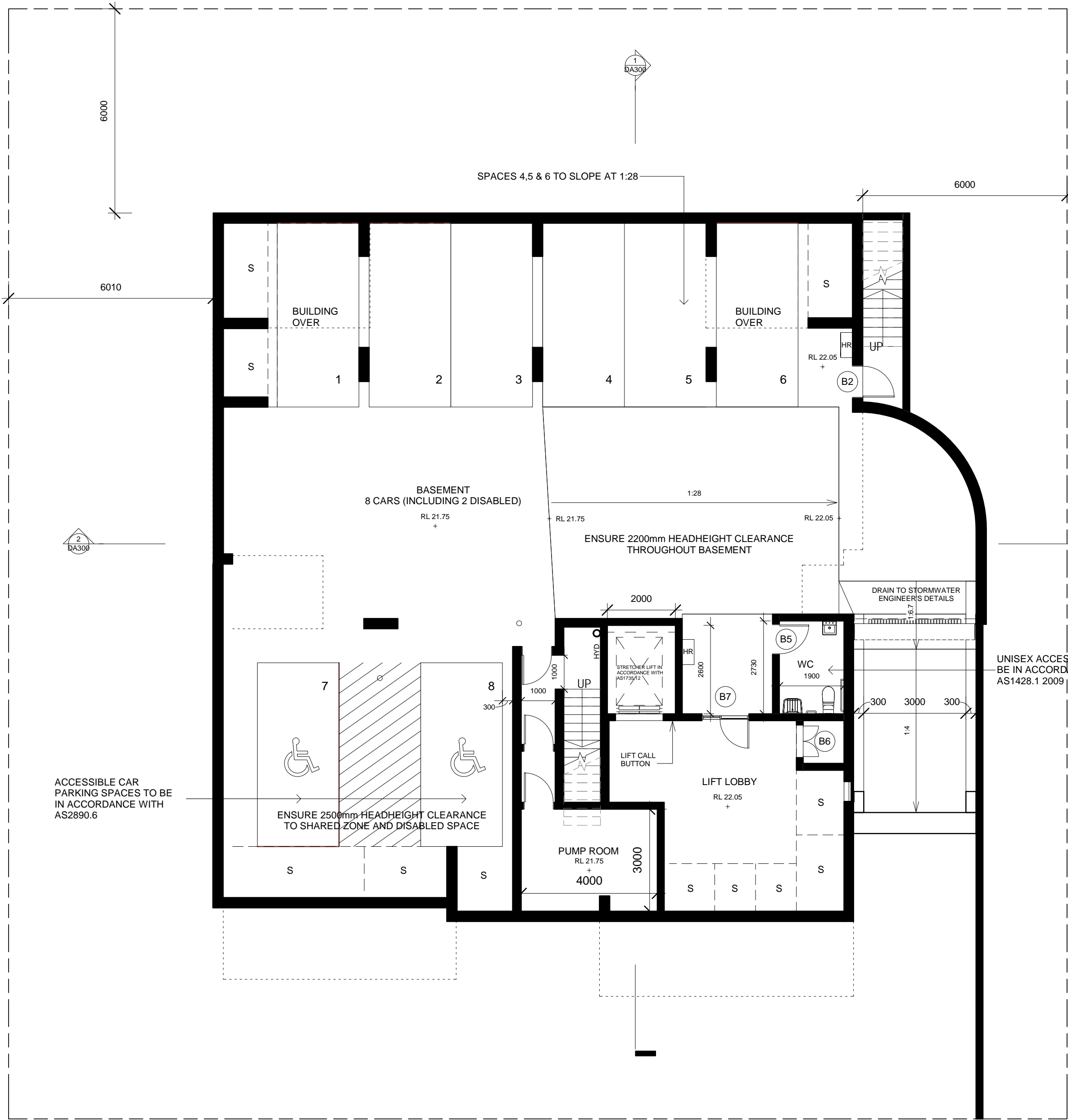
rev

C

checked

Checker

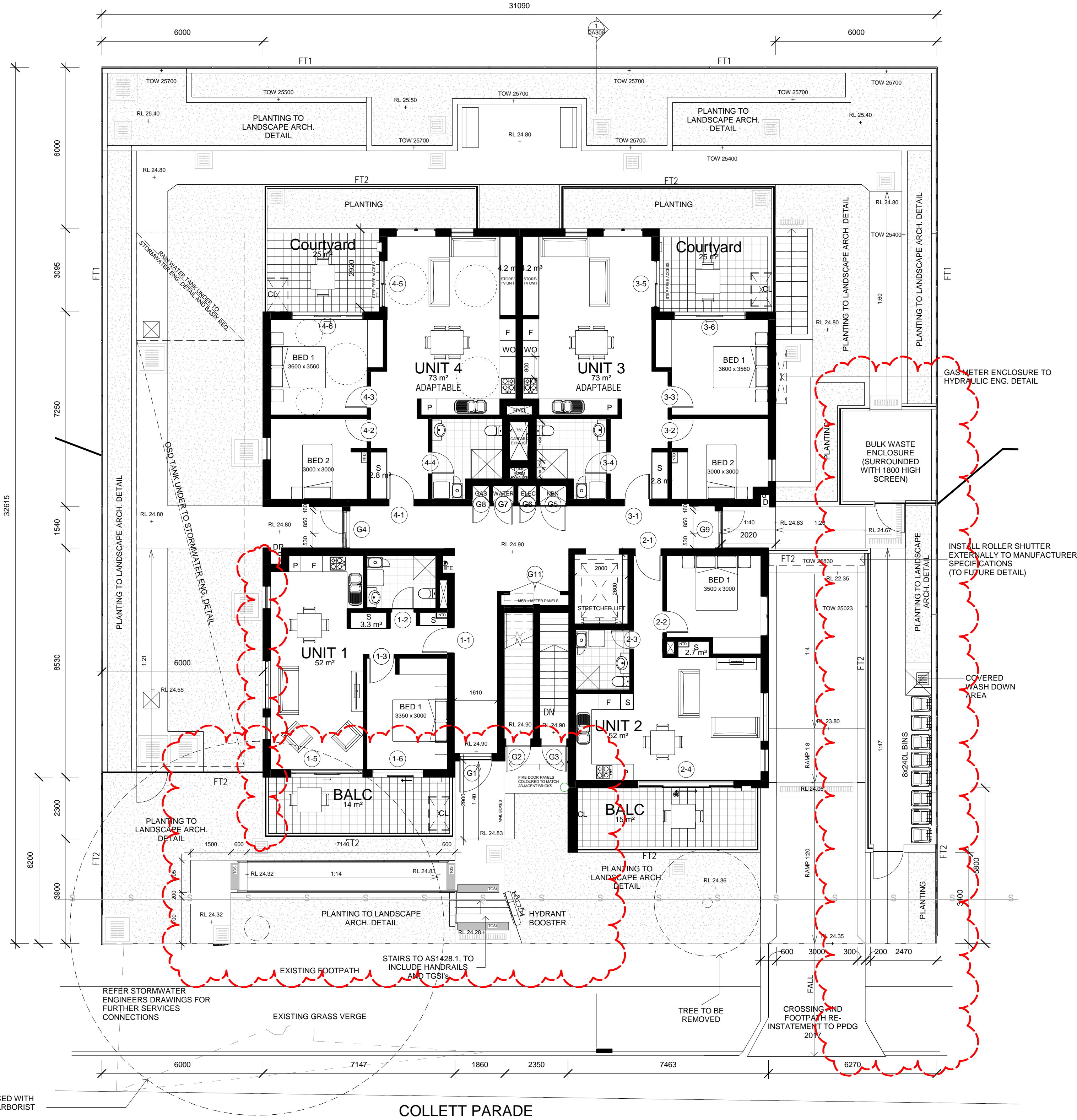
PLAN LEGEND
HYD HYDRANT TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
FE FIRE EXTINGUISHER TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
HR HOSE REEL TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
CL 1.600M HIGH TO LAHC SPECIFICATIONS. CLOTHES LINE NOT TO FOLD DOWN IF WITHIN 1M OF BALCONY HANDRAIL



1 Basement
1 : 100

BCA NOTES

C1.9 - Non-combustible building elements
All external walls and attachments must be non-combustible (Including awnings)
C2.7 - Separation by fire walls.
Required between the residential units. Required FRL is 90/90/90 loadbearing or -90/90 non-loadbearing
C2.9 - Separation of classifications in different storeys
FRL's required, 7a basement with class 6 Commercial tenancies, residential over, Refer to table 3 - Type A
Construction: minimum FRL of building elements
Floor of ground floors -90/90/90 with an acoustic rating of Rtr+50 and Ln,w-62
C2.10 - Separation of lift shafts
Minimum FRL required is 120/120/120
C2.13 - Electricity supply system.
Ground level 1 - 3, (C) Electrical riser shafts require fire separation walls being a minimum FRL of 120/120/120 load bearing or -120/120 non-loadbearing, from the Water and Comms cupboards and hallways with -120/120 doors with smoke seals.
F1.4 - External above ground membranes
Balcony set downs must comply with AS4654, measured from the top of the finished external floor level to the top of the internal flashed level.
All external areas to be waterproofed in accordance with AS4654 parts 1 and 2



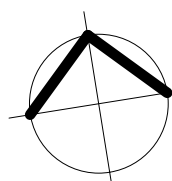
2 Ground Floor
1 : 100

NOTE:
FT1 - STANDARD COLORBOND FENCE
FT2 - HORIZONTAL METAL SLAT FENCE/SCREEN

NOTES	rev	amendments	date
1. This drawing is not to be scaled for dimensioning purposes. Use only figured dimensions.	A	CONSULTANT ISSUE	26/07/2018
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3. All loading, slabs, columns and beams to future detail. Refer to Structural Engineer's drawings.	C	ISSUE FOR CO-ORDINATION	23/08/2018
4. Mechanical ventilation to future detail. Refer to Mechanical Engineer's drawings	D	ISSUE FOR DA	11/09/2018
5. Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings	E	CLIENT ISSUE	13/09/2018
6. Drawings for Development Application only NOT FOR CONSTRUCTION	F	ISSUE FOR DA	28/09/2018
	G	STORMWATER UPDATE	27/02/2019
	H	BASEMENT TRANSOM LOUVRES WINDOW, UNIT 1 & 2 SIDE WINDOW ADDED, UNIT 1 WALL EXTENSION + ENTRY DOOR RELOCATION REVISIONS	16/10/2019
	I	REVISED DA ISSUE	12/12/2019

consultants	date
structural/civil/stormwater	Michael Ell Consulting 02 98075355
electrical/hydraulic/mechanical	Marline 02 49259300
landscape	Susan Stratton 02 95473157
certifier	Dix Gardner 02 82703500
BASIX/Energy	Sustainable Thermal Solutions 0420 312721
traffic	Varga Traffic Planning 02 9904 3224

north



status

DA



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LANDSCAPE ARCHITECTURE
INTERIORS

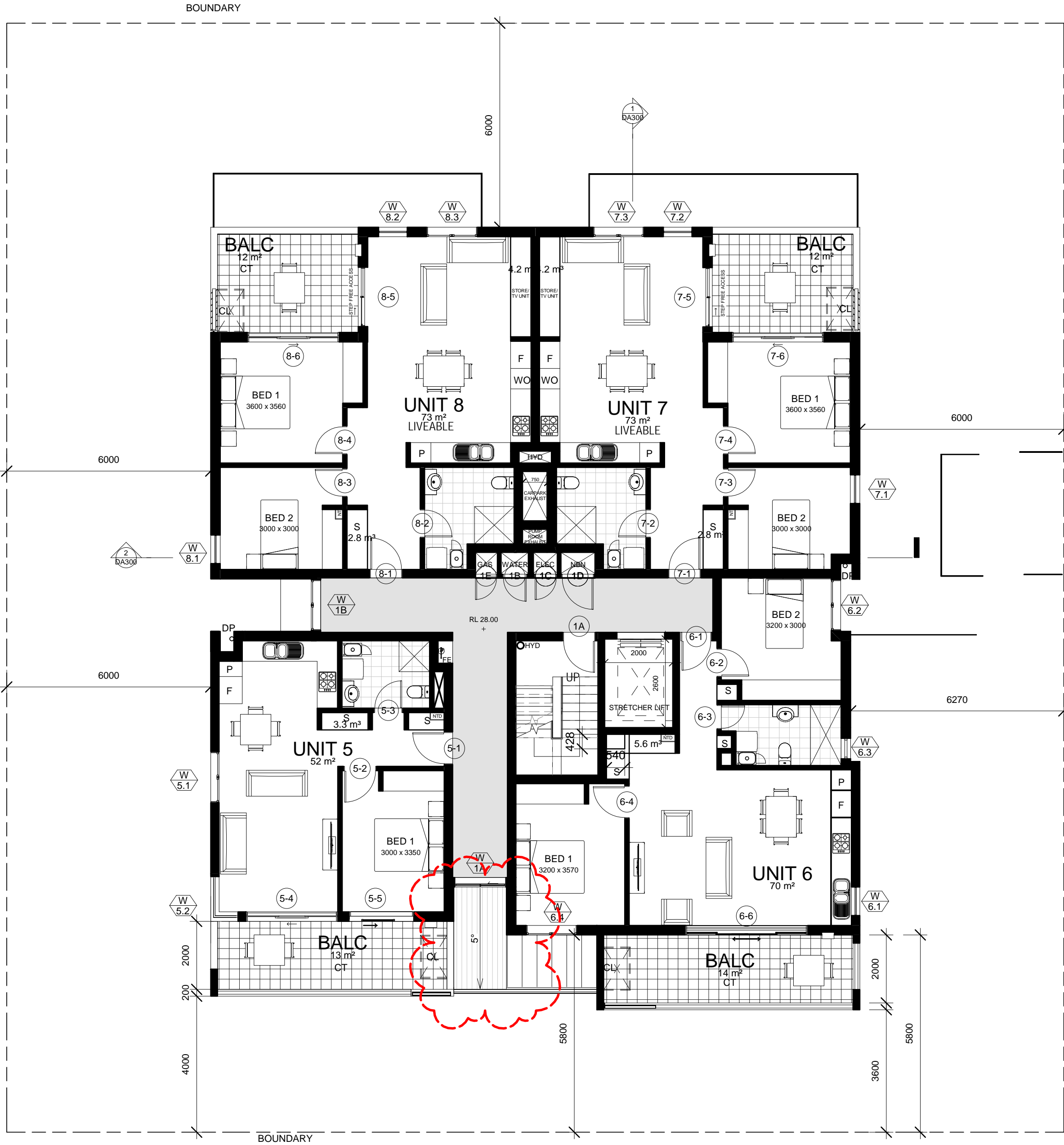
SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027
M: PO BOX 259, EDGECLIFF NSW 2027 T: 02 9327 8822 F: 02 9327 5554
E: info@lfa.com.au W: www.lfa.com.au ABN: 92 850 134 909 OM: 950 9001 2008
NOMINATED ARCHITECTS ALF LESTER NO.2128 STEPHEN ANDERS NO.5764

project	RESIDENTIAL HOUSING DEVELOPMENT 8-10 COLLETT PARADE, PARRAMATTA
client	LAHC

project no.	2017 5430
drawing title	BASEMENT & GROUND PLANS
drawing no.	DA100

file path	P:\2017 5430 Collett Para Parramatta\02 DA\CAO ARCH\02 DA
drawn	AB/BC
project dir	
date	10/09/2018
checked	SA
date plotted	12/12/2019
scale	1 : 100
rev	I
@ A1	

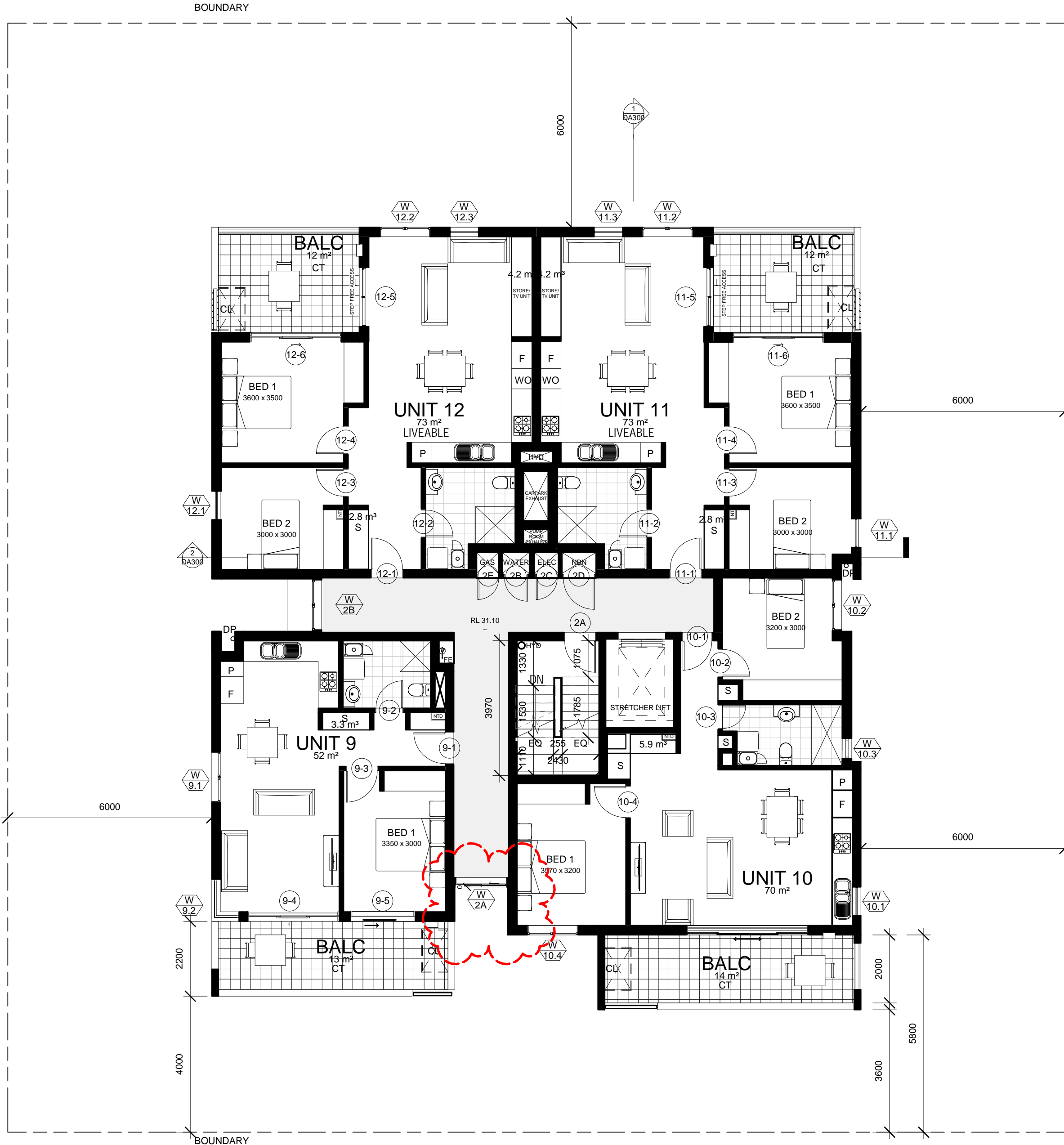
PLAN LEGEND
HYD HYDRANT TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
FE FIRE EXTINGUISHER TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
HR HOSE REEL TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
CL 1.600M HIGH TO LAHC SPECIFICATIONS. CLOTHES LINE NOT TO FOLD DOWN IF WITHIN 1M OF BALCONY HANDRAIL



1 Level 1
1 : 100

BCA NOTES

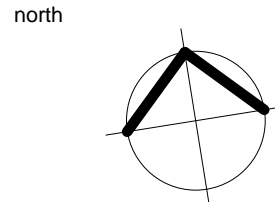
C1.9 - Non-combustible building elements
All external walls and attachments must be non-combustible (Including awnings)
C2.7 - Separation by fire walls.
Required between the residential units. Required FRL is 90/90/90 loadbearing or -90/90 non-loadbearing
C2.9 - Separation of classifications in different storeys
FRL's required. 7a basement with class 6 Commercial tenancies, residential over, Refer to table 3 - Type A
Construction: minimum FRL of building elements
Floor of ground floors -90/90/90 with an acoustic rating of RW+Ctr>50 and Ln,w>62
C2.10 - Separation of lift shafts
Minimum FRL required is 120/120/120
C2.13 - Electricity supply system.
Ground level 1 - 3, (C) Electrical riser shafts require fire separation walls being a minimum FRL of 120/120/120 load bearing or -120/120 non-loadbearing, from the Water and Comms cupboards and hallways with -120/120 doors with smoke seals.
F1.4 - External above ground membranes
Balcony set downs must comply with AS4654, measured from the top of the finished external floor level to the top of the internal flashed level.
All external areas to be waterproofed in accordance with AS4654 parts 1 and 2



2 Level 2
1 : 100

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	B	UPDATED CLIENT ISSUE	10/08/2018
	C	UPDATED CONSULTANT ISSUE	23/08/2018
	D	ISSUE FOR CO-ORDINATION	11/09/2018
	E	CLIENT ISSUE	13/09/2018
	F	ISSUE FOR DA	28/09/2018
	G	UNIT 5 & 9 WALL EXTENSION, SKYLIGHT ADDED REVISIONS	16/10/2019
	H	REVISED DA ISSUE	12/12/2019

consultants		
structural/civil/ stormwater	Michael Ell Consulting	02 98075355
electrical/hydraulic/ mechanical	Marline	02 49259300
landscape	Susan Stratton	02 95473157
certifier	Dix Gardner	02 82703500
BASIX/Energy	Sustainable Thermal Solutions	0420 312721
traffic	Varga Traffic Planning	02 9904 3224



status
DA

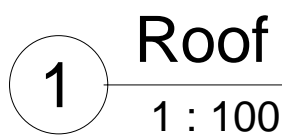
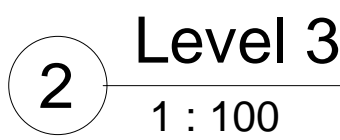
**LFA (PACIFIC) PTY LIMITED**
MASTERPLANNING
URBAN DESIGN
ARCHITECTURE
LANDSCAPE ARCHITECTURE
INTERIORS
SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027
W PO BOX 259, EDGECLIFF NSW 2027 T 02 9327 8822 F 02 9327 5554
E info@lfa.com.au W www.lfa.com.au ABN 62 850 154 905 OM 50001 2008
NOMINATED ARCHITECTS ALF LESTER NO.2128 STEPHEN ANDERS NO.5764

project RESIDENTIAL HOUSING DEVELOPMENT 8-10 COLLETT PARADE, PARRAMATTA	project no. 2017 5430
client LAHC	drawing title LEVELS 1 & 2 PLANS
drawing no. DA101	rev H

file path P:\2017 5430 Collett Parade Parramatta\02 DA\CAD ARCH\02 DA	drawn AB/BC
project dir 	date 10/09/2018
checked SA	date plotted 12/12/2019
scale 1 : 100 @ A1	

DA

HYD	HYDRANT TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
FE	FIRE EXTINGUISHER TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
HR	HOSE REEL TO BCA, AUSTRALIAN STANDARDS & HYDRAULIC ENG. DETAIL
CL	1.600M HIGH TO LAHC SPECIFICATIONS. CLOTHES LINE NOT TO FOLD DOWN IF WITHIN 1M OF BALCONY HANDRAIL



C1.9 - Non-combustible building elements
 All external walls and attachments must be non-combustible (including awnings)

C2.7 - Separation by fire walls
 Required between the residential units. Required RFL is 90/90/90 (loadbearing or -90/90 non-loadbearing)

C2.9 - Separation of classifications in different storeys
 RFL's required, 7/a basement with class 6 Commercial tenancies, residential over. Refer to table 3 - Type A

Construction: minimum RFL of building elements
 Floor of ground floors: 90/90/90 with an acoustic rating of RW+Ctr=50 and Ln,w=62


C2.10 - Separation of lift shafts
 Minimum RFL required is 120/120/120

C2.15 - Electricity supply system
 Ground level - 1, 3 (C) Electrical fire shafts require fire separation walls being a minimum RFL of 120/120/120 load bearing or -120/120 non-loadbearing, from the Water and Comms cupboards and hallways with -120/120 doors with smoke seals.

F1.4 - External above ground membranes
 Balcony set downs must comply with AS4564, measured from the top of the finished external floor level to the top of the internal floor level.

All external areas to be waterproofed in accordance with AS4564 parts 1 and 2

north



status

DA

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SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027
M PO BOX 259, EDGECLIFF NSW 2027 T 02 9327 6822 F 02 9327 5554
E lfa@lfa.com.au W www.lfa.com.au ABN 92 900 134 905 OM ISO 9001:2008

NOMINATED ARCHITECTS AL F LESTER NO.9128 STEPHEN ANDRONS NO.5764

project

RESIDENTIAL HOUSING DEVELOPMENT
8-10 COLLETT PARADE,
PARRAMATTA

client

LAHC

project no.

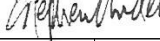
2017 5430

drawing title

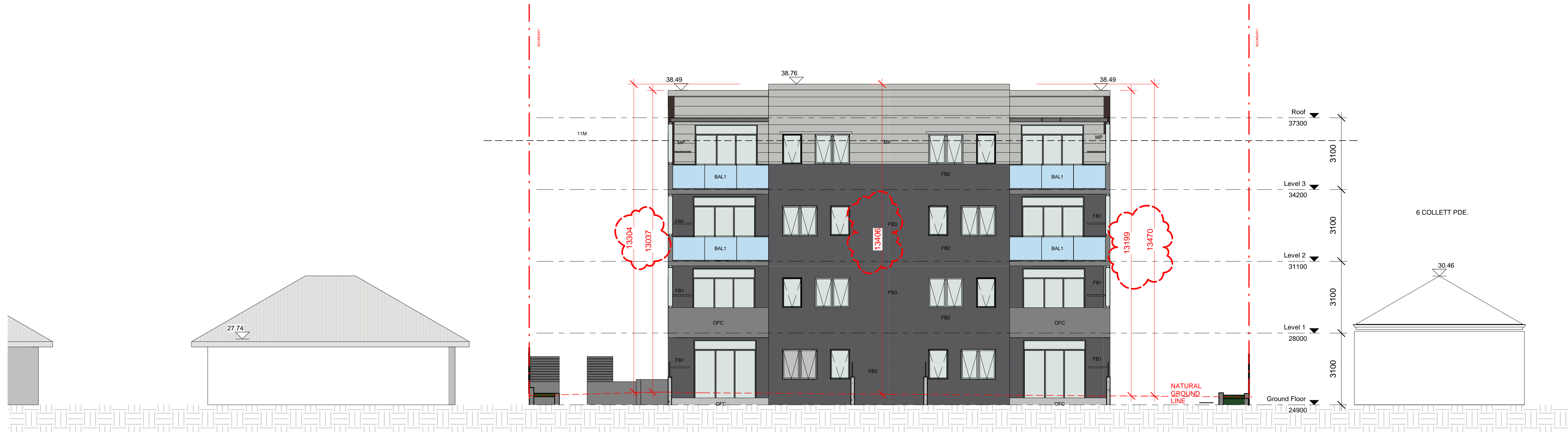
LEVEL 3 & ROOF PLANS

drawing no.

DA102

file path	P:\2017-5430 Collette Pds Paramattal 02 DA\CAD ARCH\02 DA		
drawn	AB/BC		
project dir			
date	10/09/2018	checked	SA
date plotted	12/12/2019		
scale	1 : 100 @ A1		

DA



1 North
1 : 100



2 South
1 : 100

ELEVATION LEGEND	
BAL1	BALUSTRADE GLASS TYPE 1 (FROSTED) TO A.S AND BCA REQUIREMENTS
BAL2	BALUSTRADE GLASS TYPE 2 (FROSTED) TO A.S AND BCA REQUIREMENTS
CC	CONCRETE
FB	FACEBRICK
OFC	OFF FORM CONCRETE
SL	SUN LOUVRE
MP	METAL PANEL
PS	PRIVACY SCREEN
CFC	COMPRESSED FIBRE CEMENT

NOTES			consultants			project			drawing no.		
1. This drawing is not to be scaled for dimensioning purposes. Use only figured dimensions.			structural/civil/stormwater			RESIDENTIAL HOUSING DEVELOPMENT			2017 5430		
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3. All loading, slabs, columns and beams to future detail. Refer to Structural Engineer's drawings.			landscape			client			12/12/2019		
4. Mechanical ventilation to future detail. Refer to Mechanical Engineer's drawings.			certifier			LAHC			date plotted		
5. Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings.			BASIX/Energy			drawing no.			DA200		
6. Drawings for Development Application only NOT FOR CONSTRUCTION			traffic			status			H		
rev			amendments			north			scale		
A			CONSULTANT ISSUE			DA			1 : 100 @ A1		
B			UPDATED CLIENT ISSUE								
C			ISSUE FOR CO-ORDINATION								
D			CLIENT ISSUE								
E			ISSUE FOR DA								
F			RAMP, FIRE HYDRANT + UNIT 2 BALCONY FENCE EXTENSION REVISIONS								
G			REVISED DA ISSUE								
H											

MR

METAL ROOF

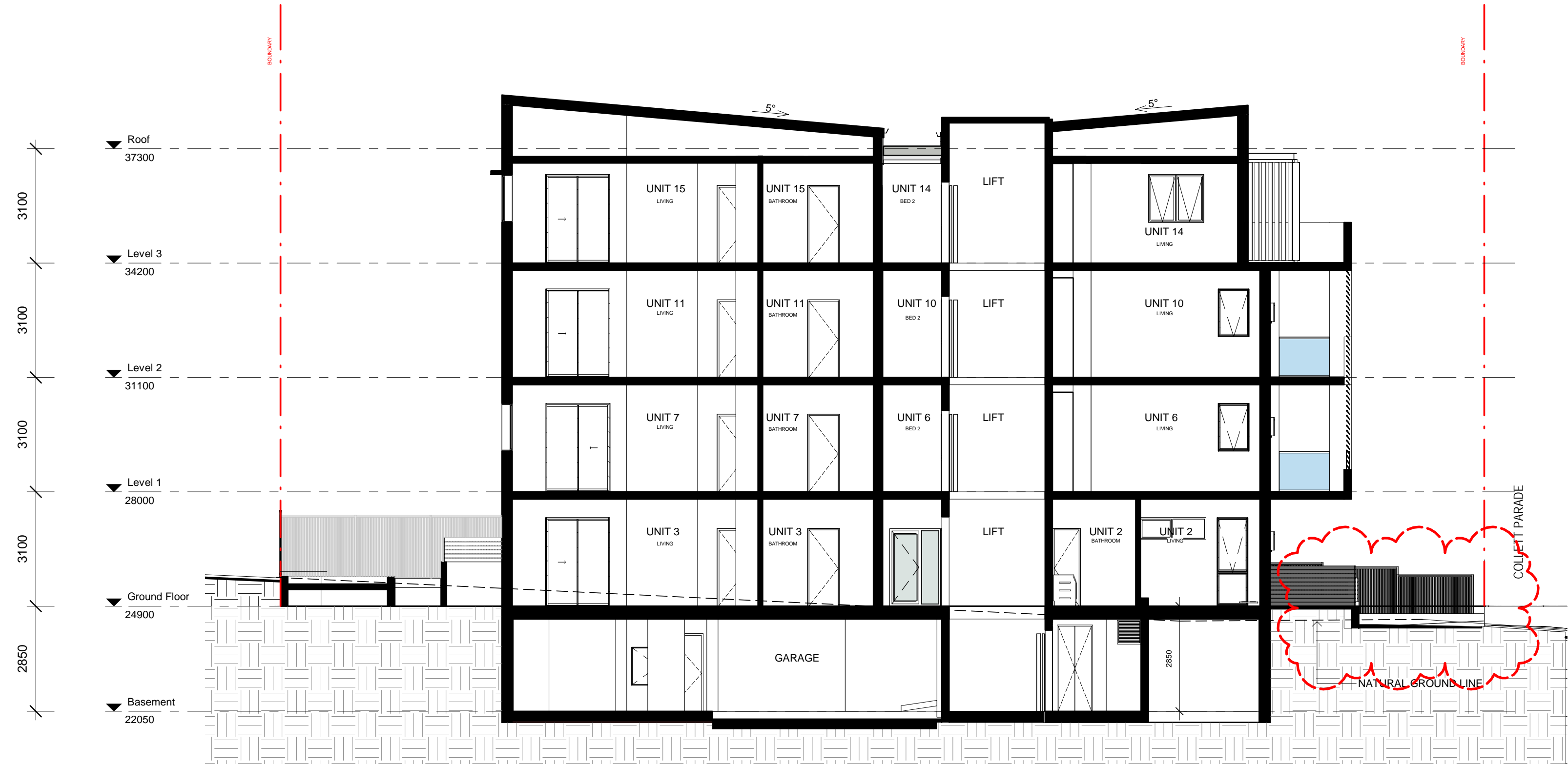
1000

This architectural section drawing illustrates a building facade with a complex, multi-level structure. The drawing is divided into several horizontal sections, each labeled with a specific functional area or material type: 'MP' (likely Mechanical Plant or a specific material), 'OFC' (Office), 'FB1' (Floor Board 1), and 'BAL1' (Balcony). The building features a series of windows and balconies, with a red dashed line indicating a boundary or a specific level. A red cloud-like shape highlights a specific area on the left side of the drawing, possibly indicating a site-specific feature or a design detail. The drawing is presented in a technical, black-and-white style, typical of architectural plans.

The image contains two architectural drawings of a building facade. The left drawing is a section view, showing the internal structure of the building. It features a red dashed line indicating a specific area of interest. The right drawing is an elevation view, showing the building's exterior facade. It includes various window and door types, labeled with codes such as SH1, OFC, FB1, BAL1, and MP. The drawings are set against a background of a grid pattern, with vertical red lines marking the boundaries of the sections.

DA

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	A	CONSULTANT ISSUE	26/07/2018	structural/civil/ stormwater				Michael Ell Consulting	02 98075355	drawn AB/BC		
	B	UPDATED CLIENT ISSUE	10/08/2018	electrical/hydraulic/ mechanical				Marline	02 49259300	project dir 		
	C	UPDATED CONSULTANT ISSUE	23/08/2018	landscape				Susan Stratton	02 95473157	date 10/09/2018	checked SA	
	D	ISSUE FOR CO-ORDINATION	11/09/2018	certifier				Dix Gardner	02 82703500	date plotted 12/12/2019	scale	
	E	CLIENT ISSUE	13/09/2018	BASIX/Energy				Sustainable Thermal Solutions	0420 312721	drawing no. DA202	rev H	
	F	ISSUE FOR DA	28/09/2018	traffic				Varga Traffic Planning	02 9904 3224			As indicated @ A1
	G	MODIFIED COLOUR SCHEDULE REVISIONS	16/10/2019									
H	REVISED DA ISSUE	12/12/2019										



1 Section North South view to East
1 : 100



2 Section East West view to North
1 : 100

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	A	CONSULTANT ISSUE	26/07/2018	structural/civil/ stormwater	drawn		AB/BC	drawing title SECTIONS	project dir	checked	SA				
	B	UPDATED CLIENT ISSUE	10/08/2018	electrical/hydraulic/ mechanical	landscape		date		10/09/2018	checked	SA				
	C	UPDATED CONSULTANT ISSUE	23/08/2018	certifier	BASIX/Energy		date plotted		12/12/2019	scale	1 : 100 @ A1				
	D	ISSUE FOR CO-ORDINATION	11/09/2018	traffic	Varga Traffic Planning		status		DA	client	LAHC	drawing no.	DA300	rev	H
	E	CLIENT ISSUE	13/09/2018												
	F	ISSUE FOR DA	28/09/2018												
	G	WINDOW ADDED REVISIONS	16/10/2019												
	H	REVISED DA ISSUE	12/12/2019												

DA



1 NORTHWEST VIEW



2 NORTHEAST VIEW



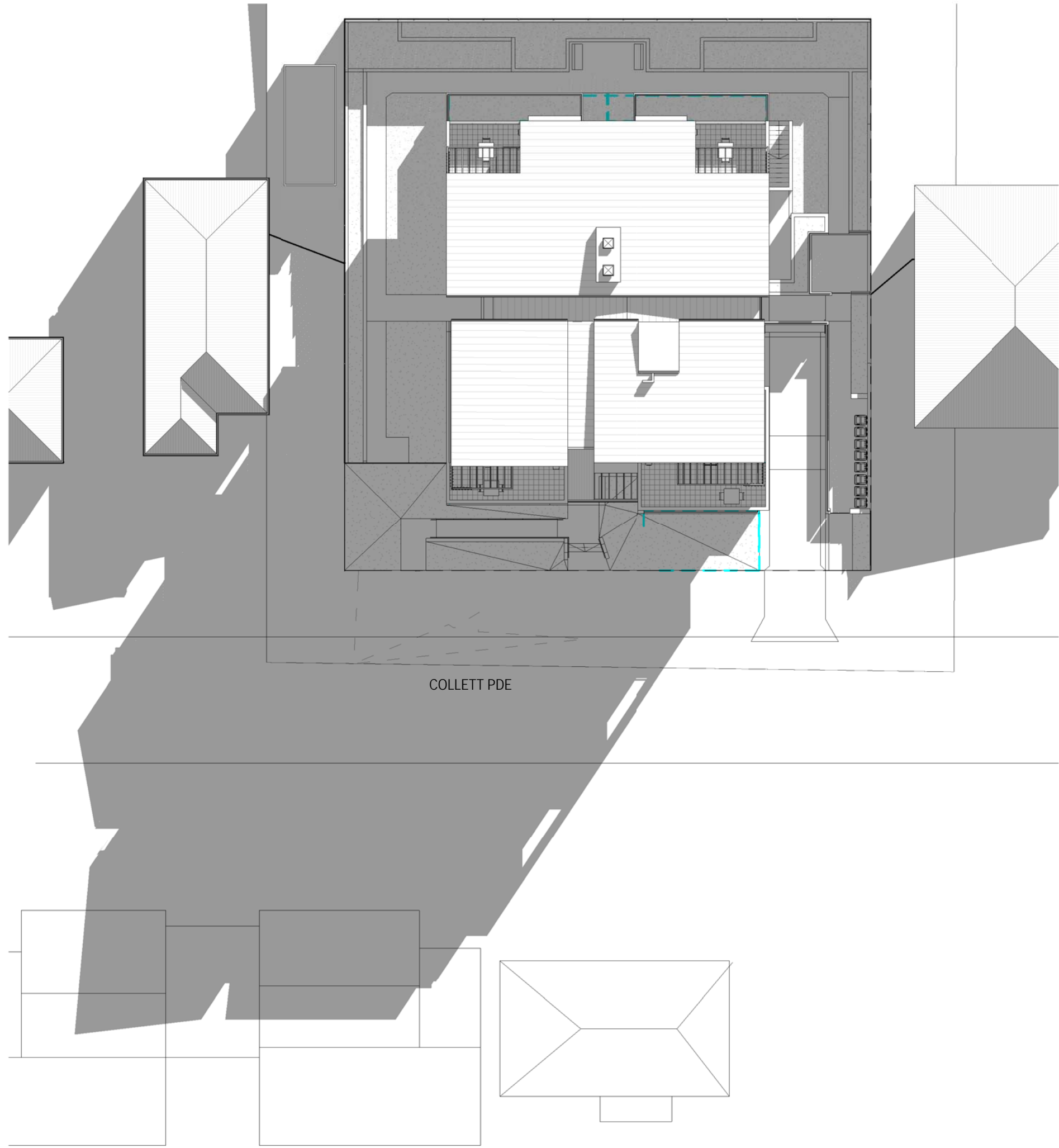
3 SOUTHWEST VIEW



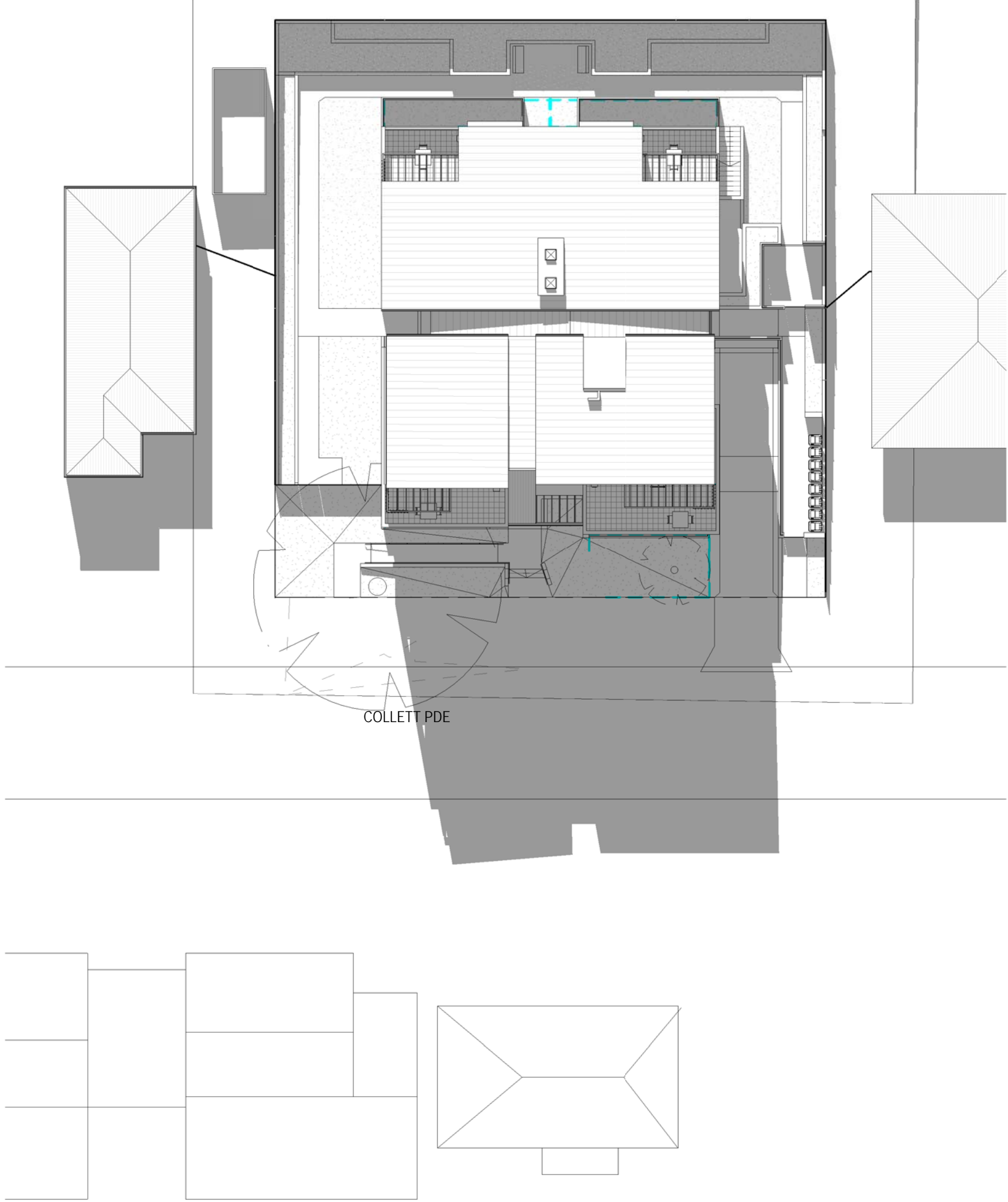
4 SOUTHEAST VIEW

DA

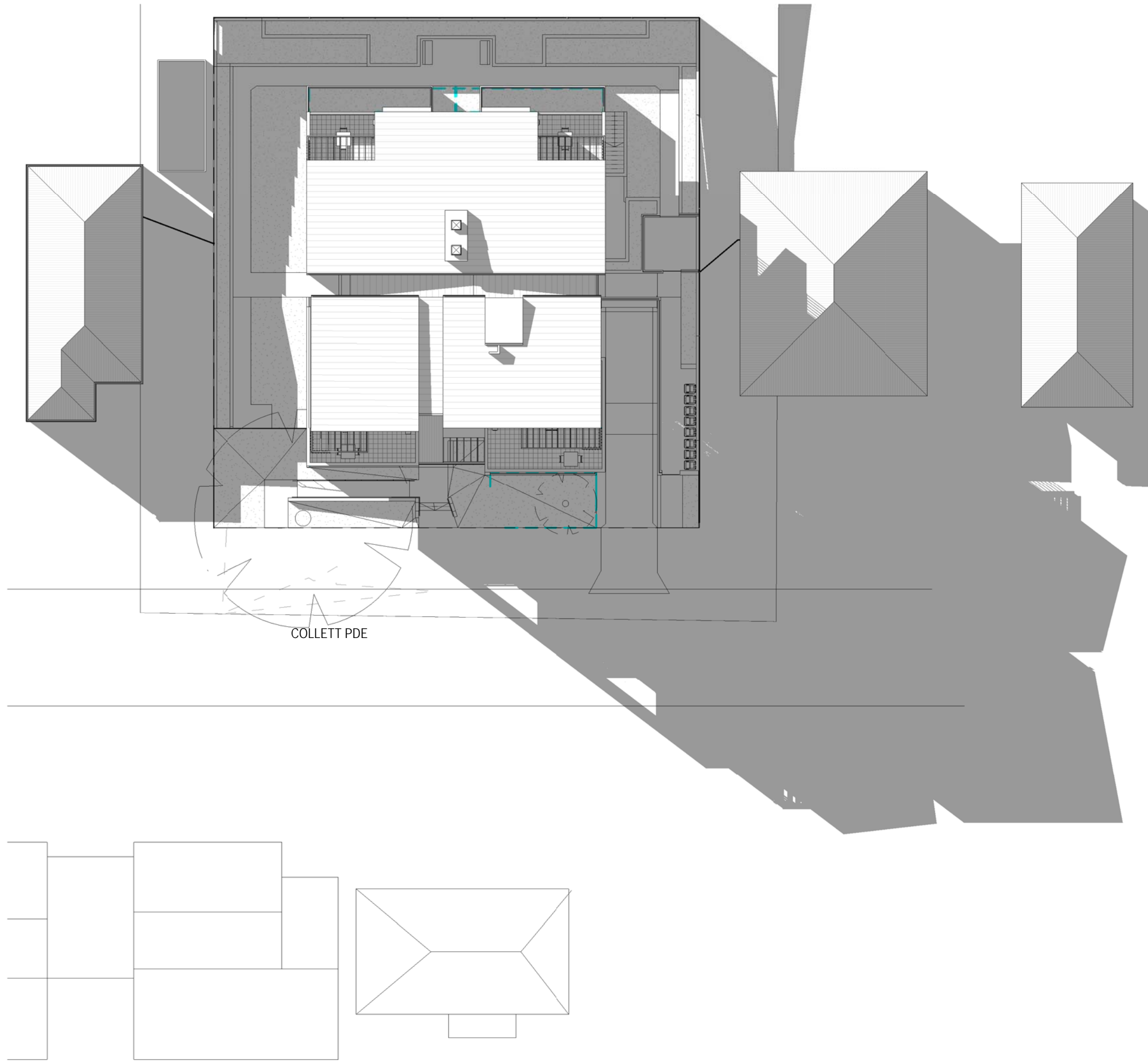
<div>NOTES</div> <div>1. This drawing is not to be scaled for dimensioning purposes. Use only figured dimensions.</div> <div>2. LFA (Pacific) Pty Ltd. All rights reserved. This work is covered by copyright and cannot be reproduced or copied in any form or by any means without written permission of LFA (Pacific) Pty Ltd.</div> <div>3. All loading, slabs, columns and beams to future detail. Refer to Structural Engineer's drawings.</div> <div>4. Mechanical ventilation to future detail. Refer to Mechanical Engineer's drawings.</div> <div>5. Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings.</div> <div>6. Drawings for Development Application only NOT FOR CONSTRUCTION</div>	rev	amendments	date	consultants	north	<div><div><div>LFA</div></div><div>LFA (PACIFIC) PTY LIMITED</div><div>MASTERPLANNING URBAN DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE INTERIORS</div><div><div>SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027 M PO BOX 259, EDGECLIFF NSW 2027 T 02 9327 8822 F 02 9327 5554 E info@lfa.com.au W www.lfa.com.au ABN 92 850 134 905 OM ISO 9001 2008</div><div>NOMINATED ARCHITECTS ALF L FISTER NO.2128 STEPHEN ANDERS NO.5764</div></div></div>	project	project no.	file path					
	A	CONSULTANT ISSUE	26/07/2018	structural/civil/ stormwater	Michael Ell Consulting		02 98075355	RESIDENTIAL HOUSING DEVELOPMENT	2017 5430	P:\2017-5430 Collett Pde Parramatta\02 DA\CAD ARCH\02 DA				
	B	UPDATED CLIENT ISSUE	10/08/2018	electrical/hydraulic/ mechanical	Marlene		02 49259300	8-10 COLLETT PARADE, PARRAMATTA	drawn	AB/BC				
	C	UPDATED CONSULTANT ISSUE	23/08/2018	landscape	Susan Stratton		02 95473157		drawing title					
	D	ISSUE FOR CO-ORDINATION	11/09/2018	certifier	Dix Gardner		02 82703500		project dir					
	E	CLIENT ISSUE	13/09/2018	BASIX/Energy	Sustainable Thermal Solutions		0420 312721		date	10/09/2018	checked	SA		
	F	ISSUE FOR DA	28/09/2018	traffic	Varga Traffic Planning		02 9904 3224		status	DA	date plotted	12/12/2019		
	G	AMENDED DA	16/10/2019						client	LAHC	drawing no.	DA400	rev	H
	H	REVISED DA ISSUE	12/12/2019								scale	@ A1		



1 Shadow 9am June 21st
1 : 250



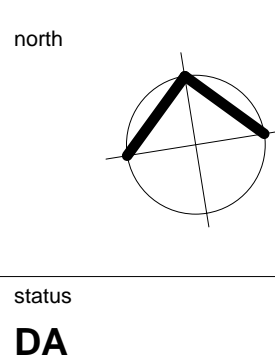
2 Shadow 12pm June 21st
1 : 250



3 Shadow 3pm June 21st
1 : 250

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6. Drawings for Development Application only NOT FOR CONSTRUCTION		
rev	amendments	date
A	CONSULTANT ISSUE	26/07/2018
B	UPDATED CLIENT ISSUE	10/08/2018
C	UPDATED CONSULTANT ISSUE	23/08/2018
D	ISSUE FOR CO-ORDINATION	11/09/2018
E	CLIENT ISSUE	13/09/2018
F	ISSUE FOR DA	28/09/2018
G	AMENDED DA	16/10/2019
H	REVISED DA ISSUE	12/12/2019

consultants		
structural/civil/stormwater	Michael Ell Consulting	02 98075355
electrical/hydraulic/mechanical	Marline	02 49259300
landscape	Susan Stratton	02 95473157
certifier	Dix Gardner	02 82703500
BASIX/Energy	Sustainable Thermal Solutions	0420 312721
traffic	Varga Traffic Planning	02 9904 3224





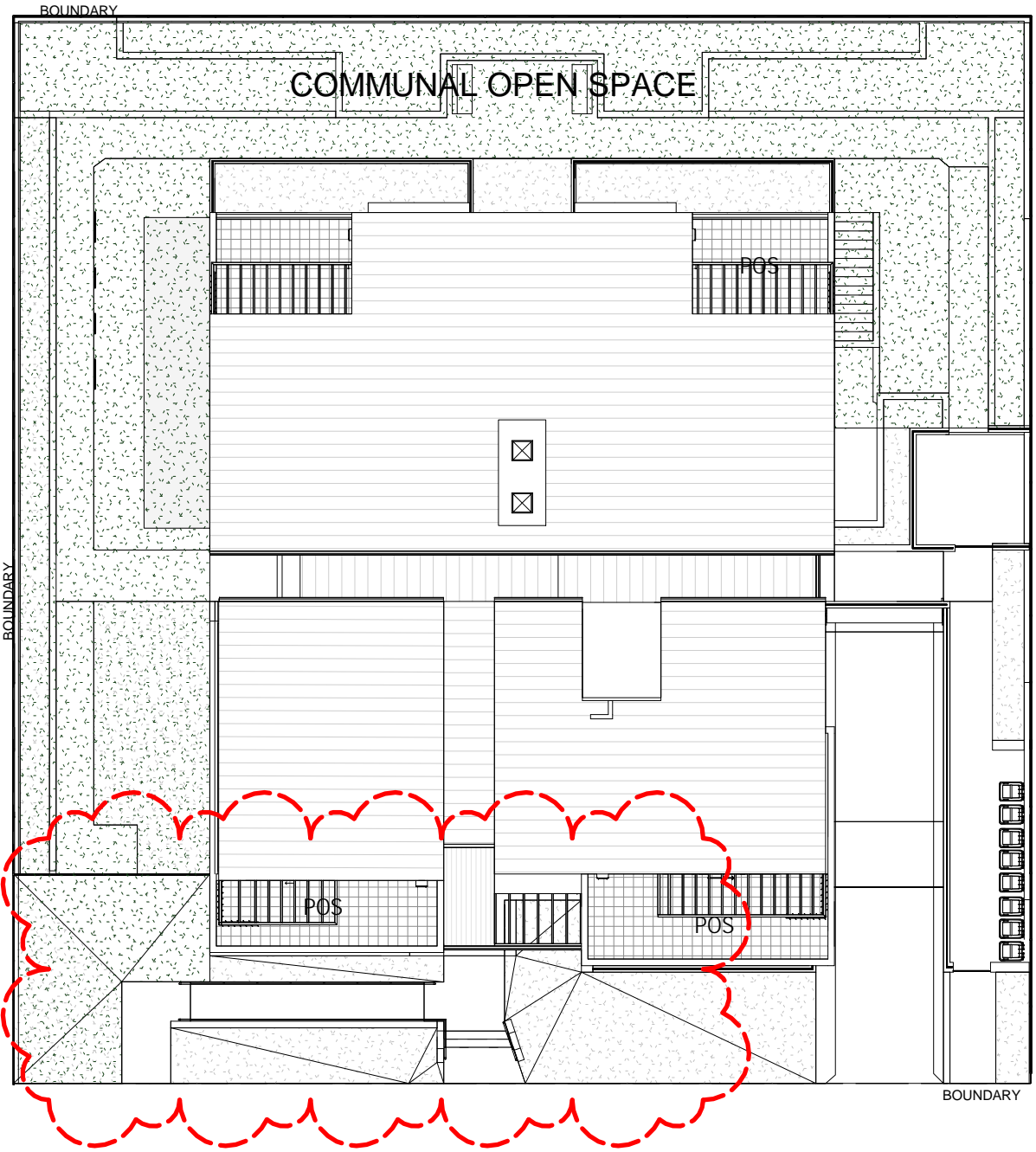
LFA (PACIFIC) PTY LIMITED

MASTERPLANNING
URBAN DESIGN
ARCHITECTURE
LANDSCAPE ARCHITECTURE
INTERIORS

SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027
M PO BOX 259, EDGECLIFF NSW 2027 T 02 9327 8822 F 02 9327 5554
E info@lfa.com.au W www.lfa.com.au ABN 92 850 154 905 OM 950 9001 2008
NOMINATED ARCHITECTS ALF LESTER NO 2128 STEPHEN ANDERS NO 5764

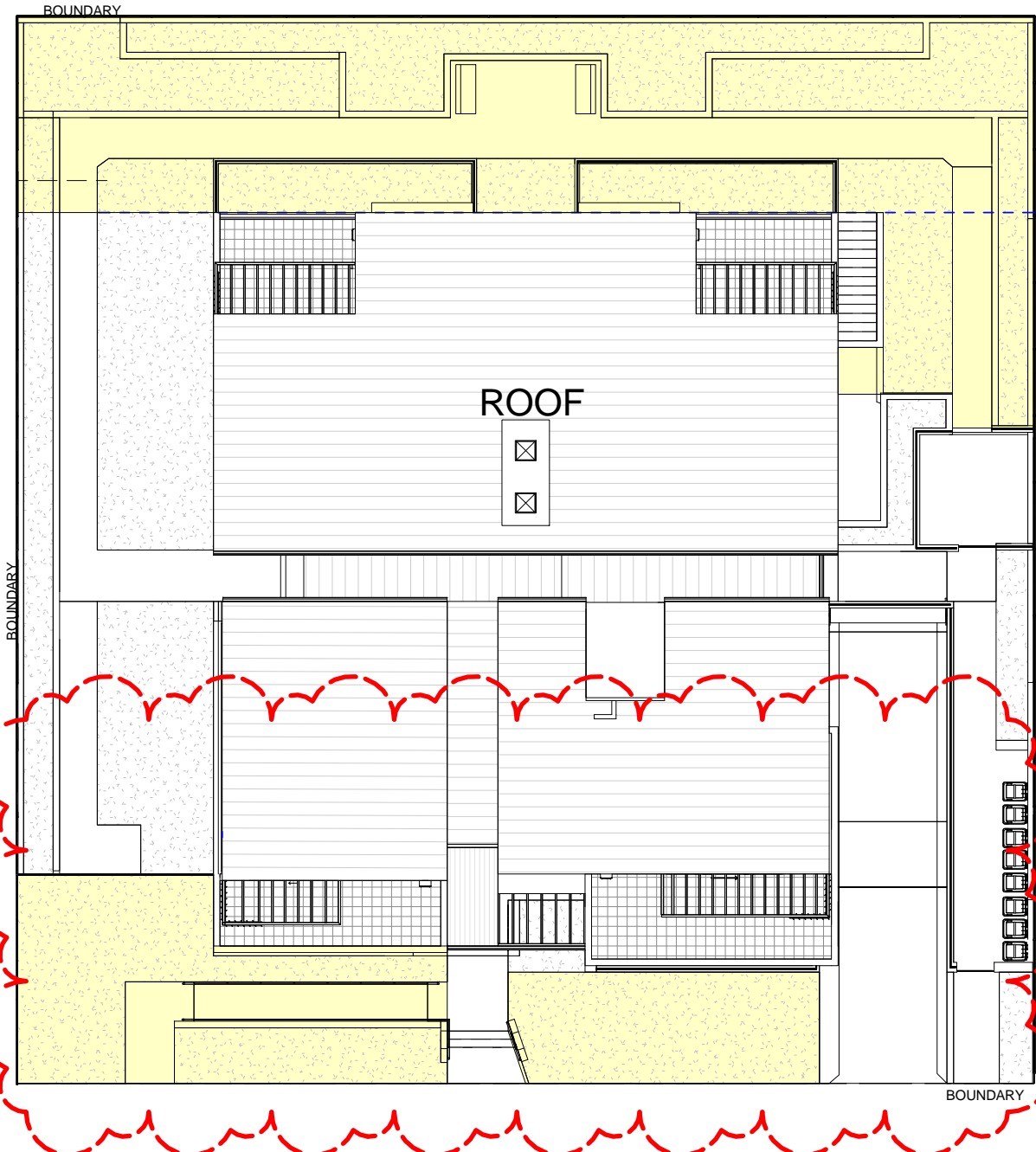
project	RESIDENTIAL HOUSING DEVELOPMENT 8-10 COLLETT PARADE, PARRAMATTA
client	LAHC

project no.	2017 5430
drawing title	SHADOW DIAGRAMS
drawing no.	DA500
rev	H
scale	1 : 250 @ A1
file path	P:\2017 5430 Collett Pde Parramatta\02 DA\CAD ARCH\02 DA
drawn	AB/BC
project dir	
date	10/09/2018
checked	SA
date plotted	12/12/2019



1 Common Open Space
1 : 200

LEGEND & TABLE			
<div></div>	LANDSCAPE AREA	361m ²	34%
<div></div>	DEEP SOIL >3M	317m ²	31%
<div></div>	COMMUNAL OPEN SPACE >3M	334m ²	36%
SITE AREA	1014M2		



2 Deep Soil
1 : 200



3 Landscape
1 : 200

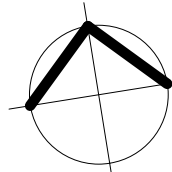
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- Stormwater and sanitary drainage to future detail. Refer to Hydraulic Engineer's drawings.
- Drawings for Development Application only NOT FOR CONSTRUCTION

rev	amendments	date
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B	UPDATED CLIENT ISSUE	10/08/2018
C	UPDATED CONSULTANT ISSUE	23/08/2018
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E	CLIENT ISSUE	13/09/2018
F	ISSUE FOR DA	28/09/2018
G	AMENDED DA	16/10/2019
H	REVISED DA ISSUE	12/12/2019

consultants			
structural/civil/ stormwater	Michael Ell Consulting	02 98075355	
electrical/hydraulic/ mechanical	Marline	02 49259300	
landscape	Susan Stratton	02 95473157	
certifier	Dix Gardner	02 82703500	
BASIX/Energy	Sustainable Thermal Solutions	0420 312721	
traffic	Varga Traffic Planning	02 9904 3224	

north



status
DA



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LANDSCAPE ARCHITECTURE
INTERIORS

SUITE 4, EDGECLIFF COURT, 2 NEW McLEAN ST, EDGECLIFF NSW 2027
M PO BOX 259, EDGECLIFF NSW 2027 T 02 9327 8822 F 02 9327 5554
E info@lfa.com.au W www.lfa.com.au ABN 62 850 154 905 OM ISO 9001:2008

NOMINATED ARCHITECTS ALF LESTER NO.2128 STEPHEN ANDERS NO.5764

project

**RESIDENTIAL HOUSING DEVELOPMENT
8-10 COLLETT PARADE,
PARRAMATTA**

client

LAHC

project no.

2017 5430

drawing title

**LANDSCAPE, DEEP SOIL & COMMON
OPEN SPACE PLANS**

drawing no.

DA501

rev

H

file path P:\2017 5430 Collett Parade Parramatta\

02 DA\CAD ARCH\02 DA

drawn AB

project dir

date 10/09/2018

checked SA

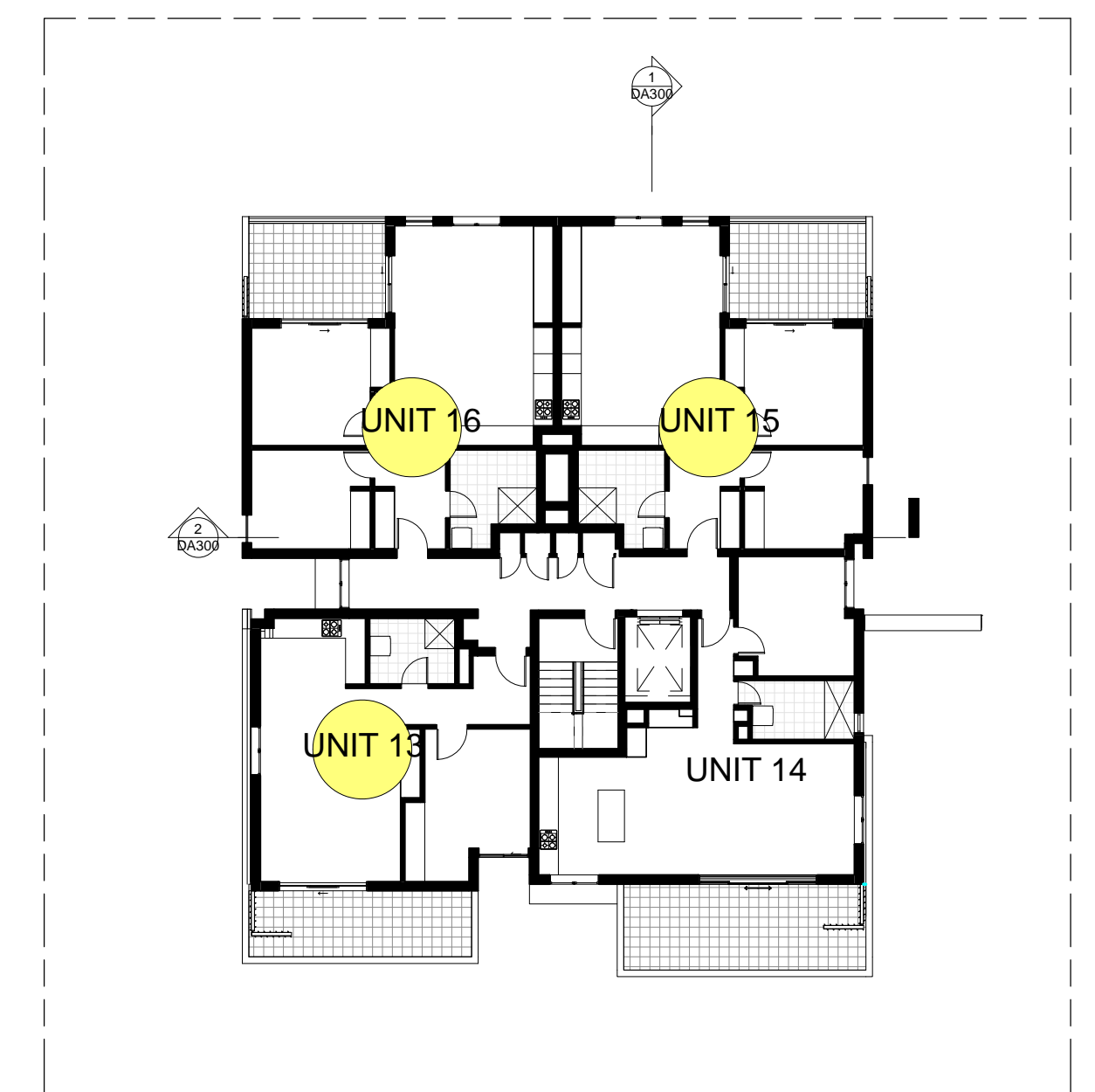
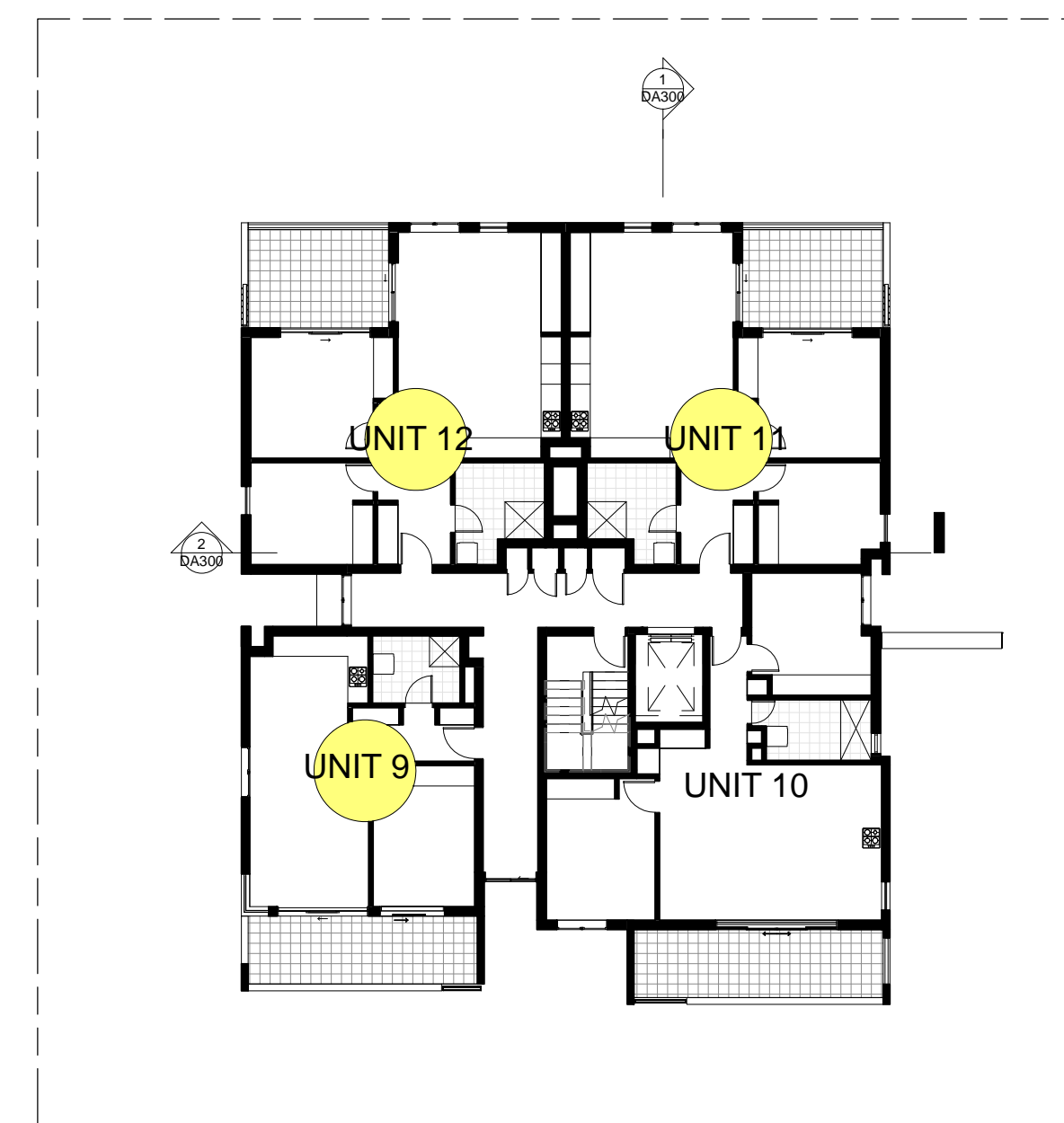
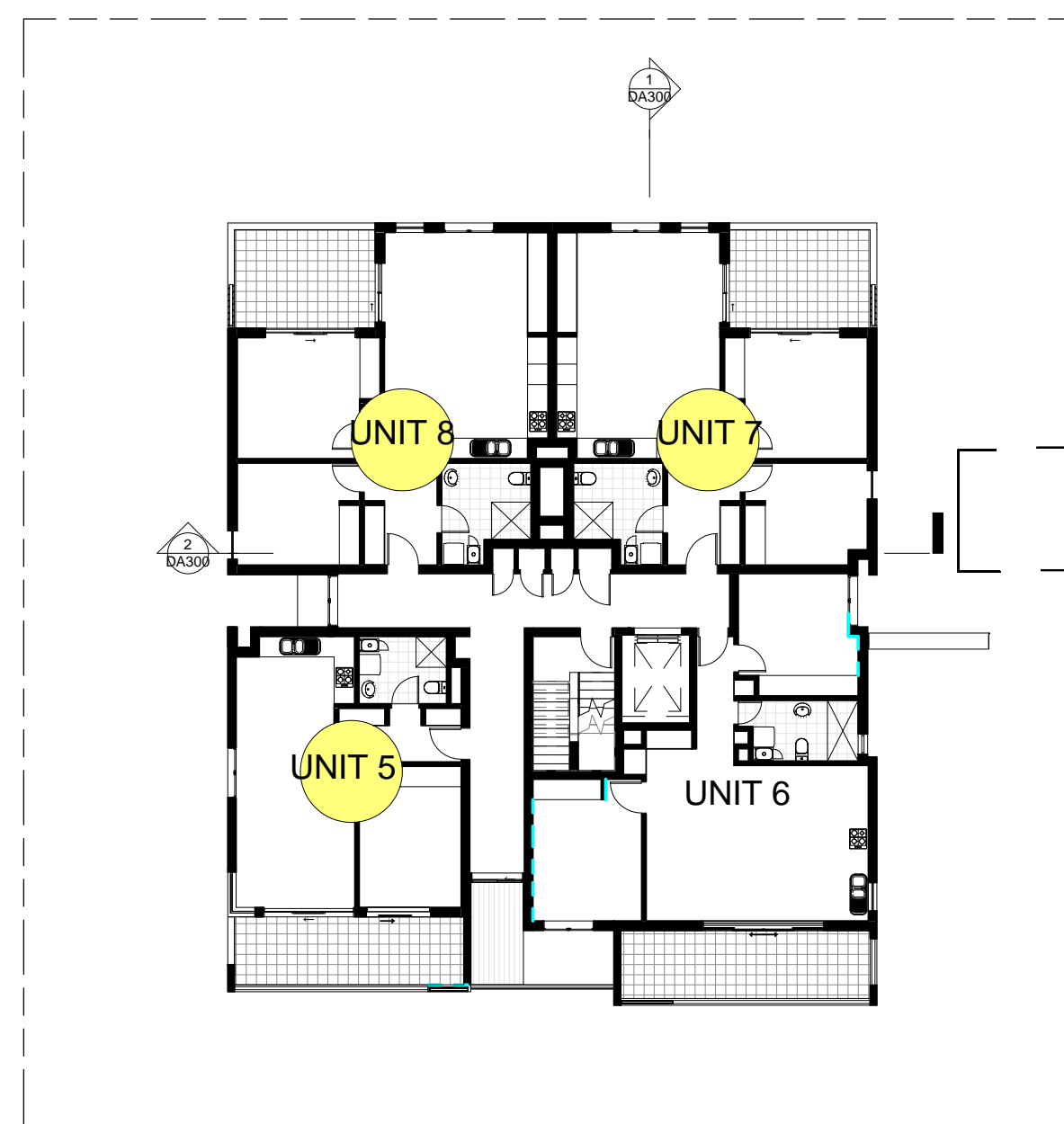
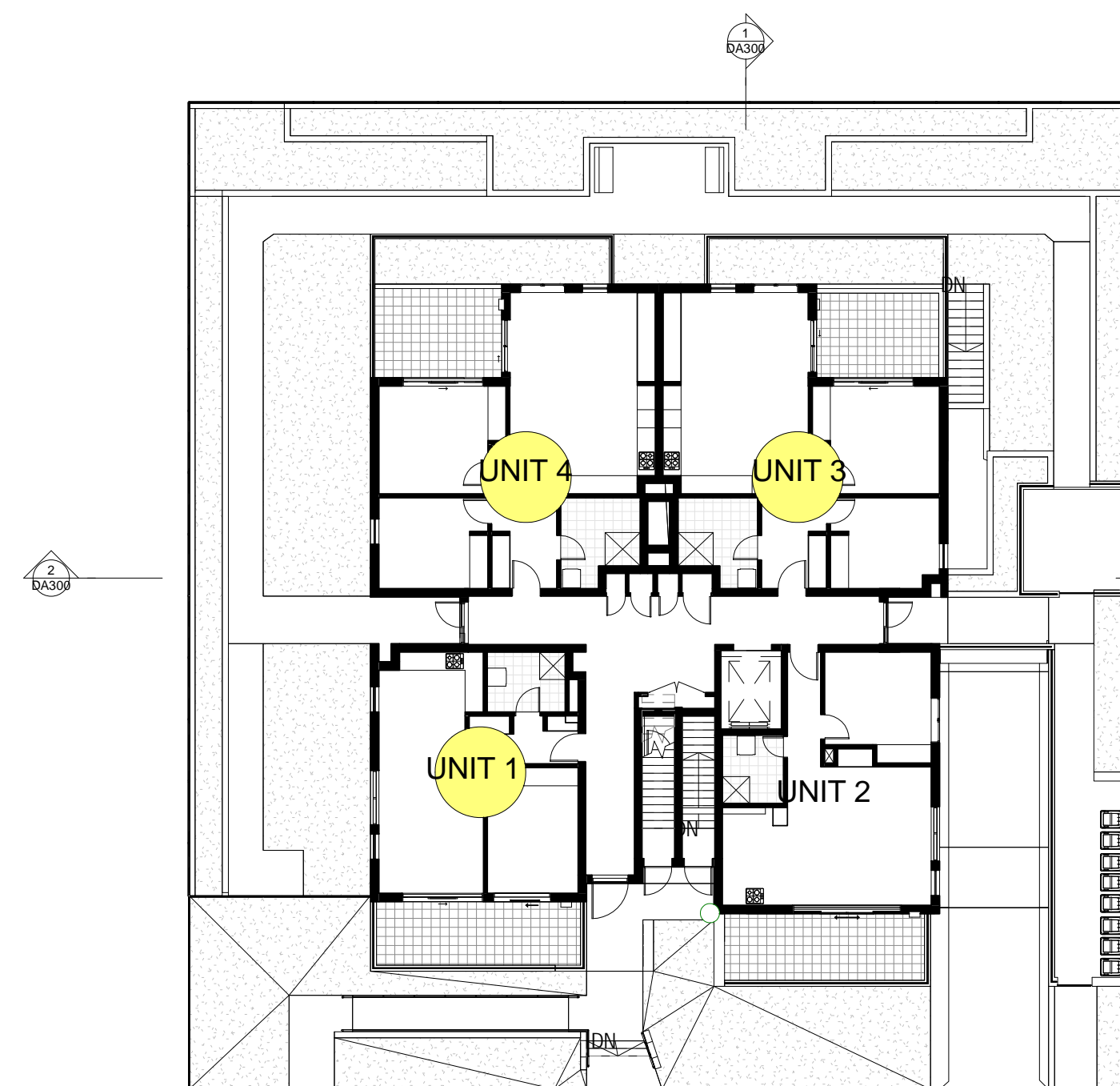
date plotted

12/12/2019

scale

As indicated @ A1

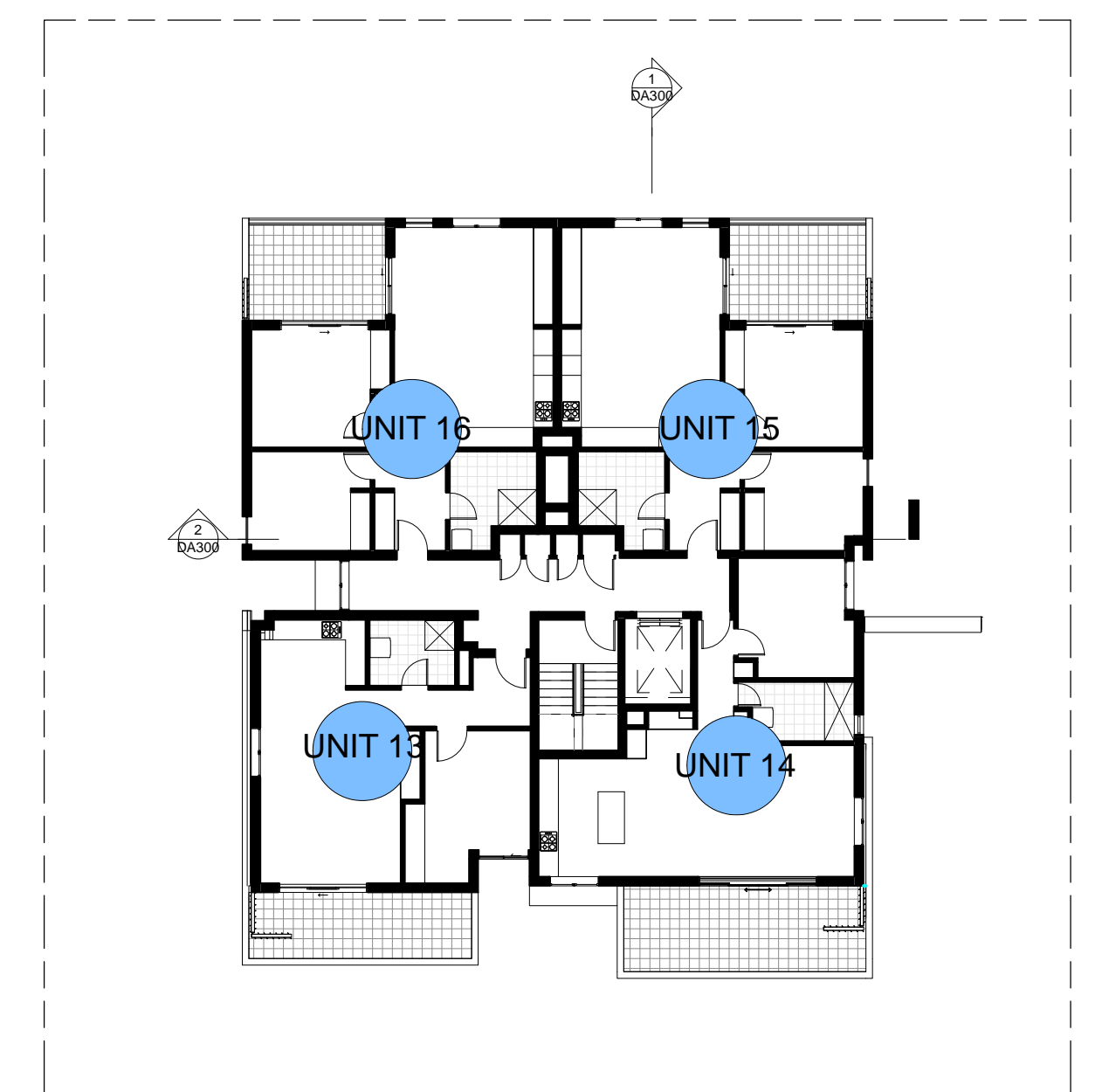
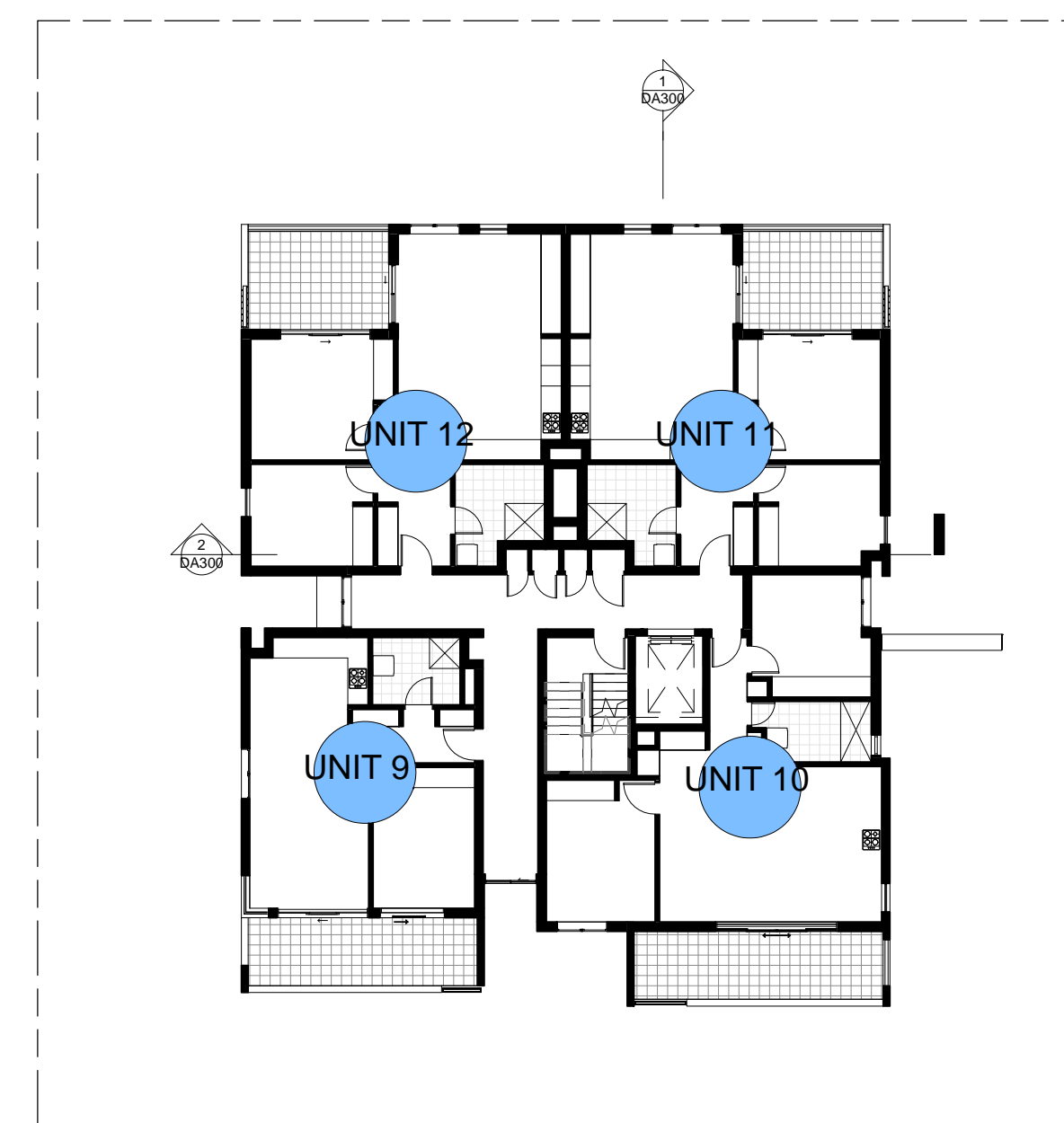
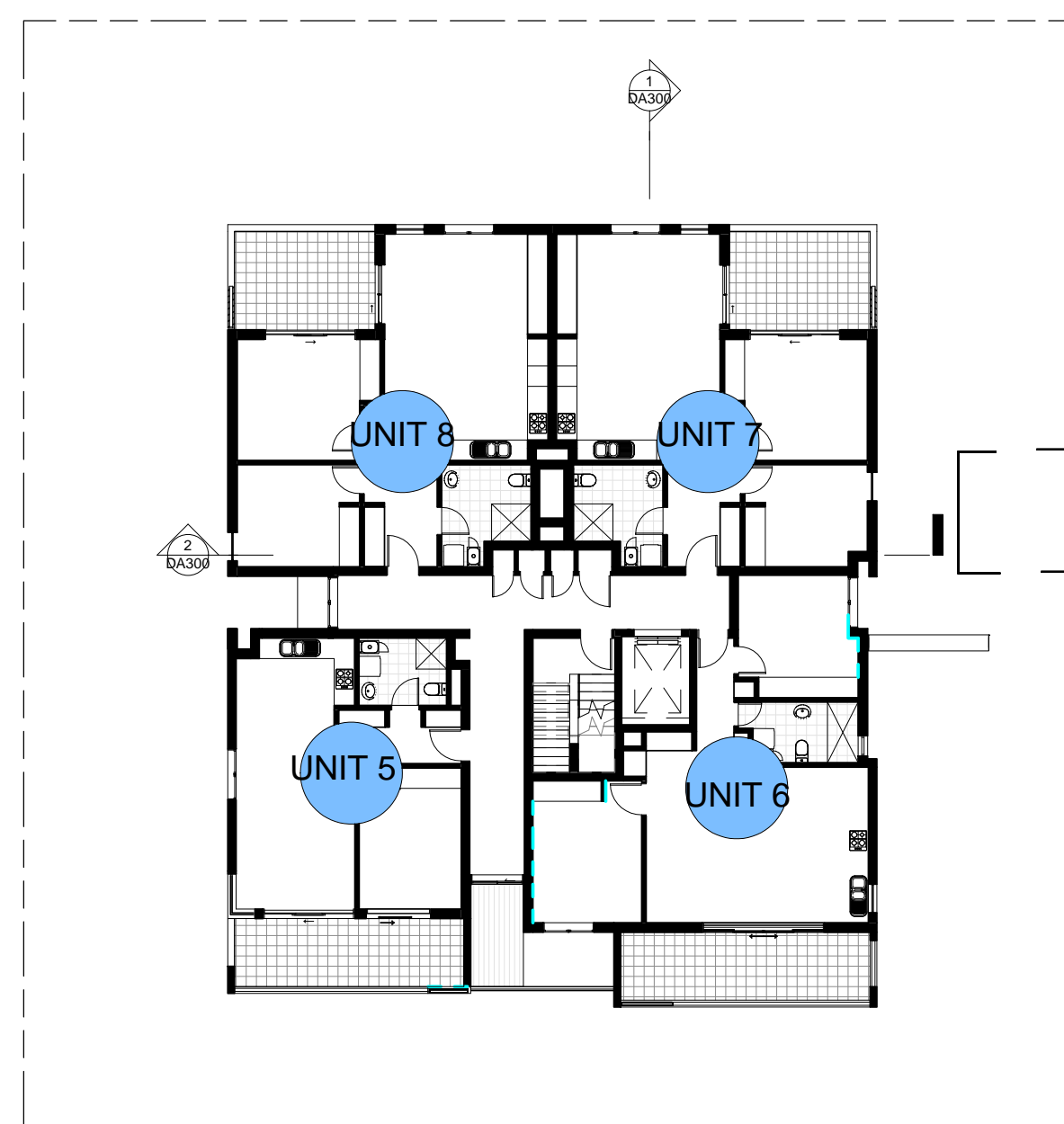
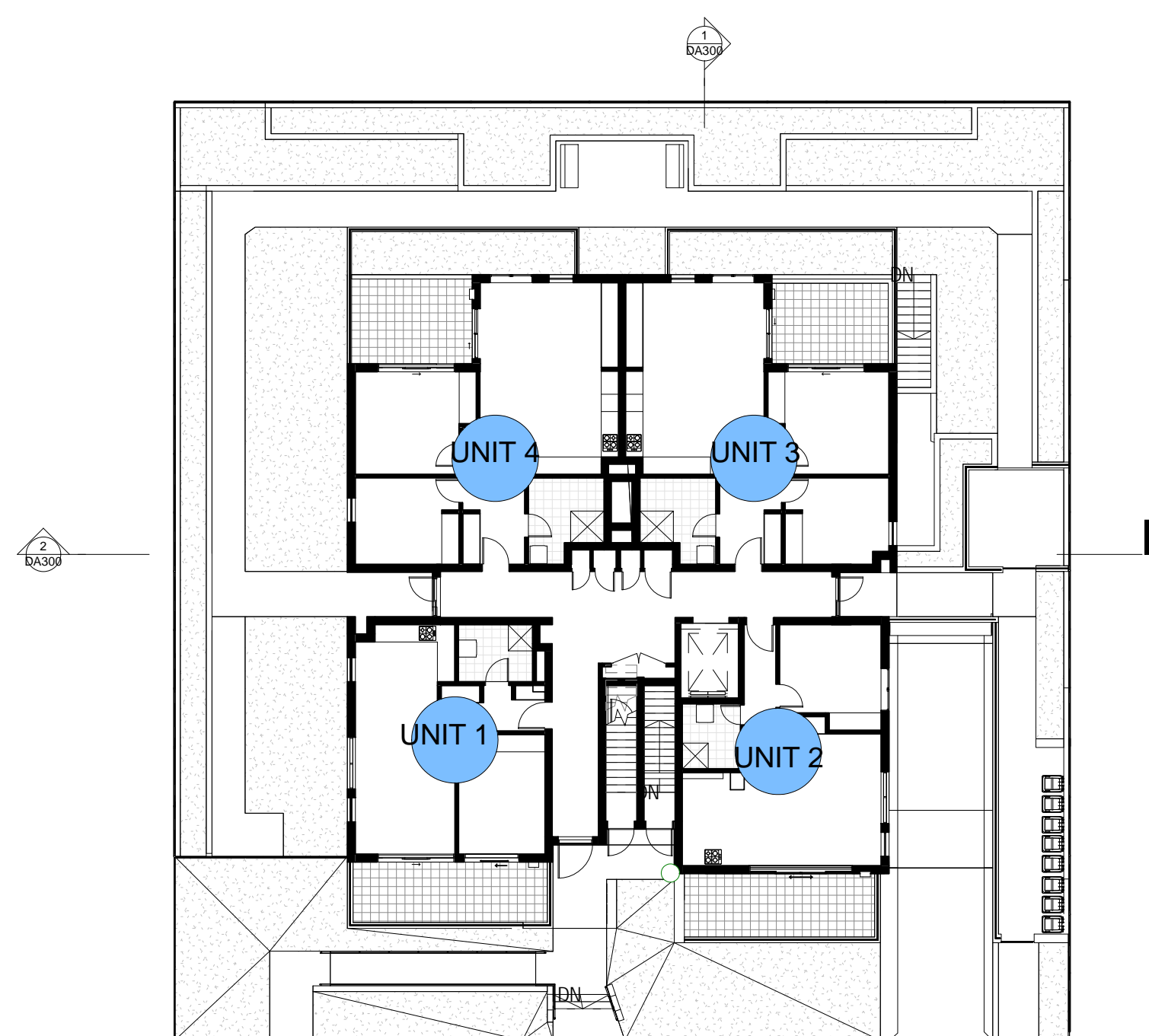
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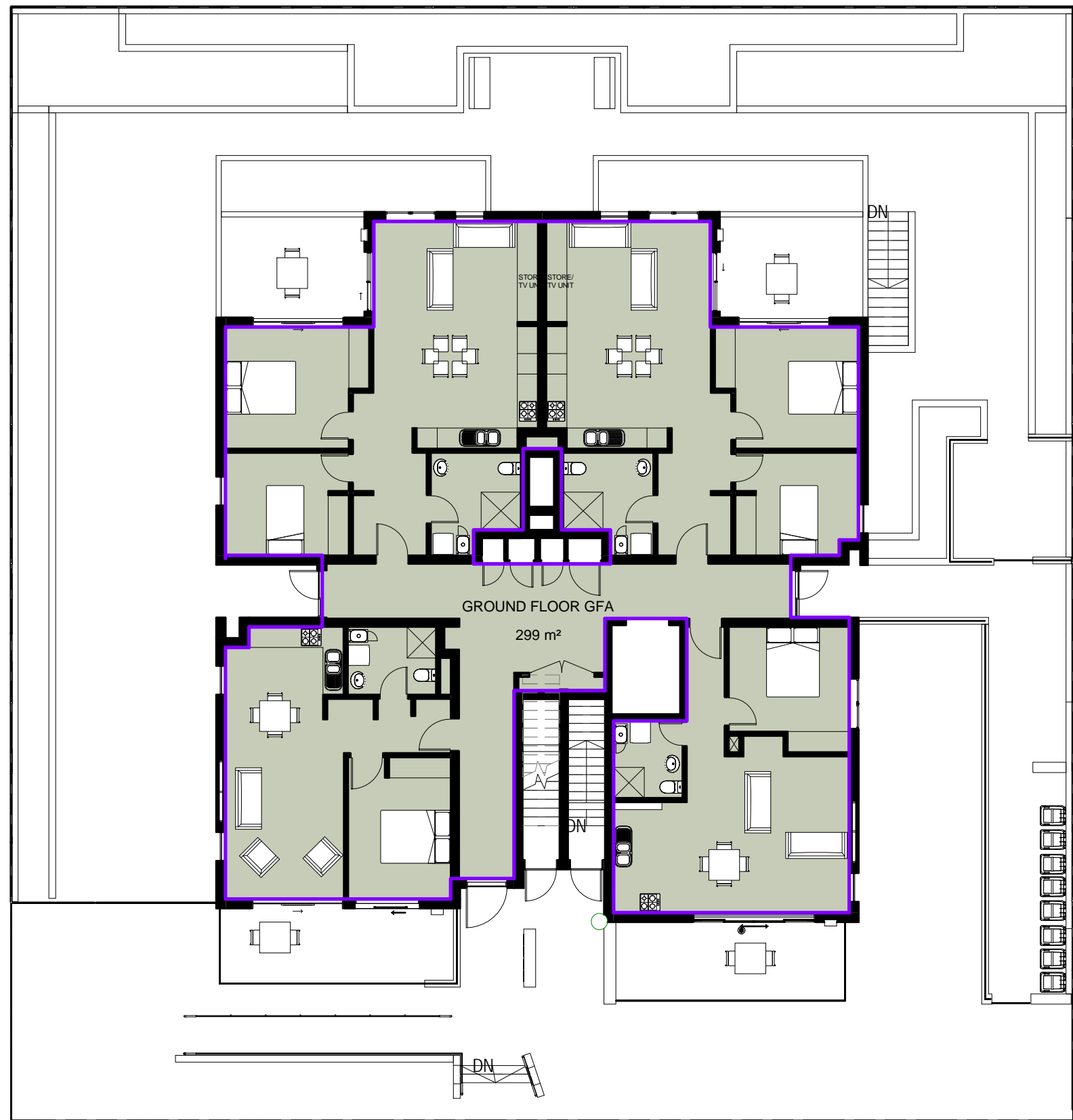
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 MINIMUM 2 HOURS SOLAR ACCESS

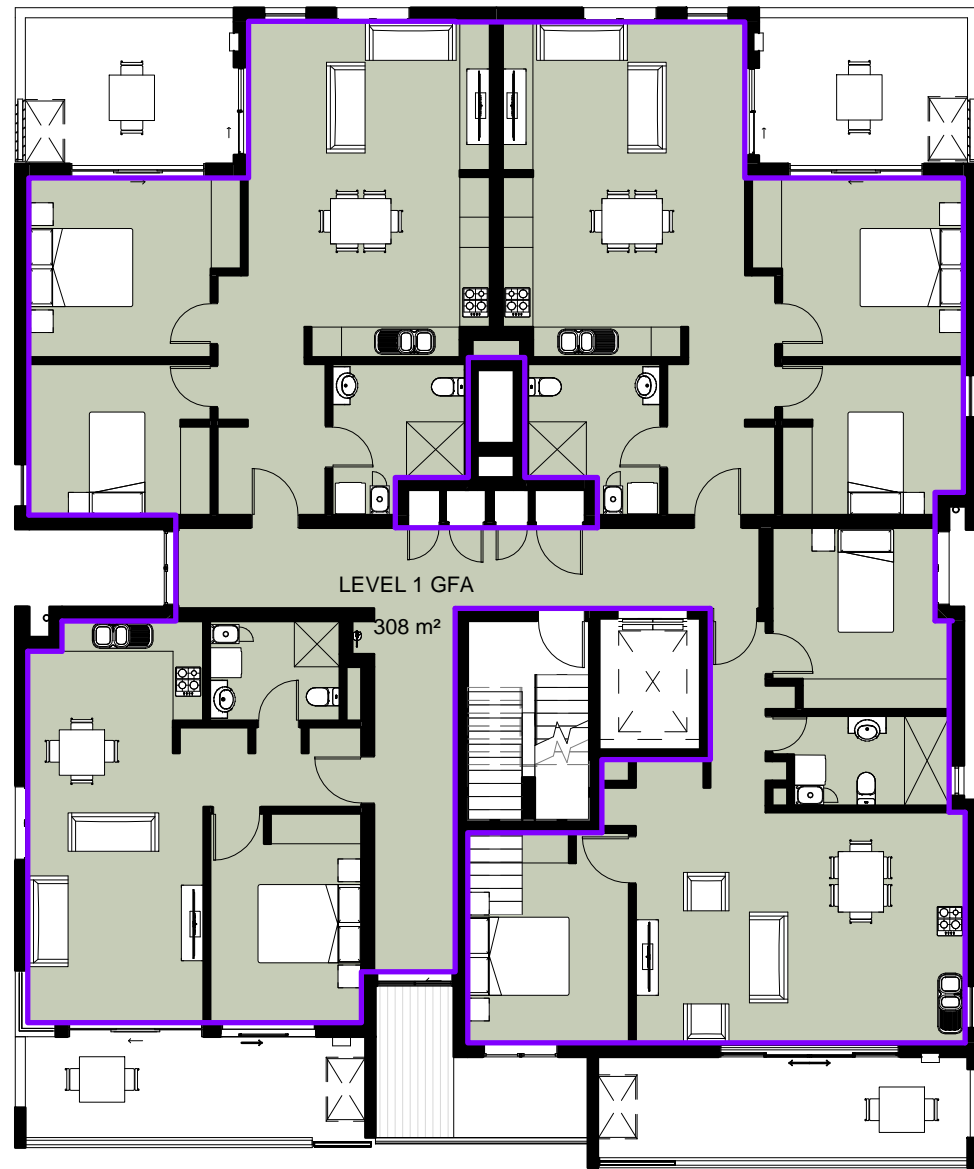
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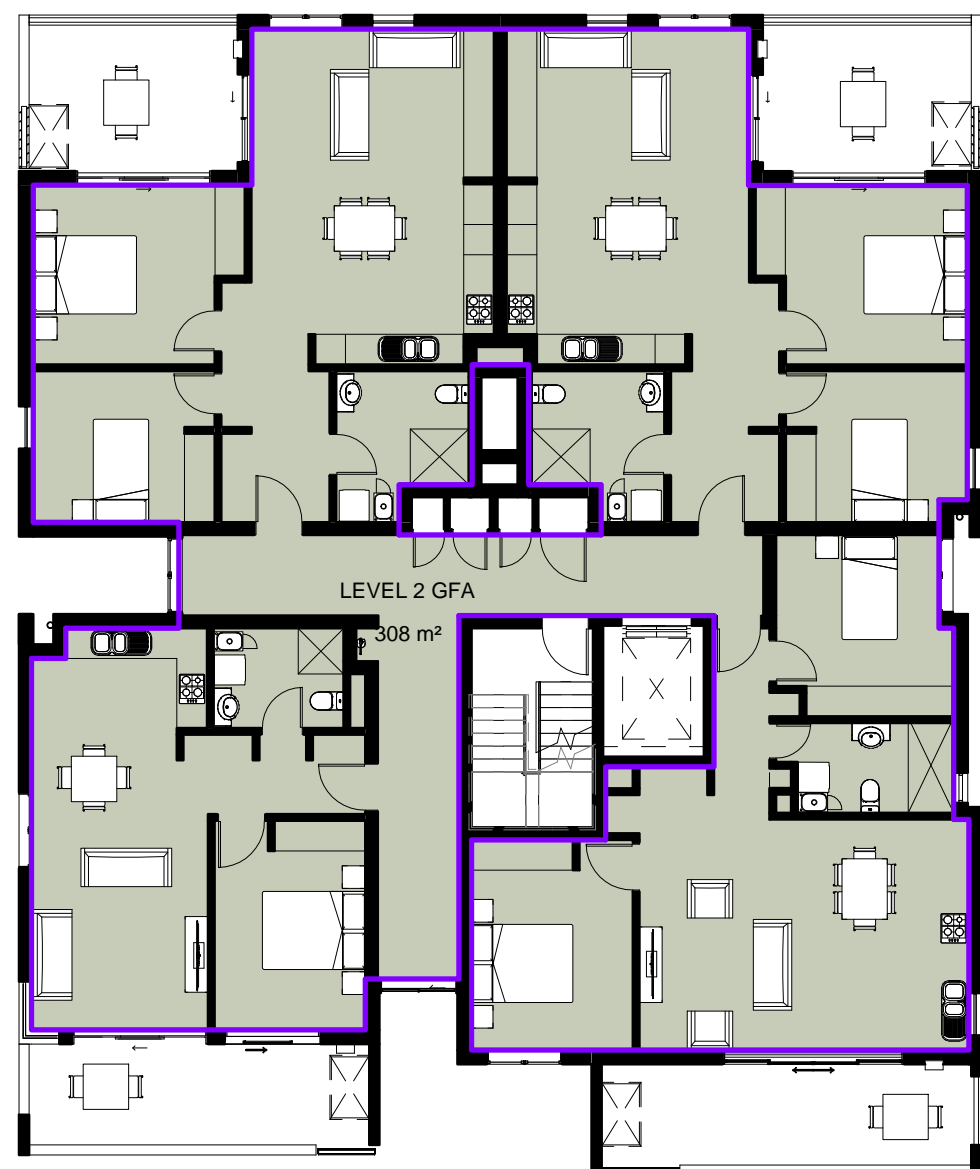
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	drawing no.		date	10/09/2018							checked	SA		
	DA502		date plotted								12/12/2019			
	H		scale								1 : 200 @ A1			



1 Ground Floor
1 : 150

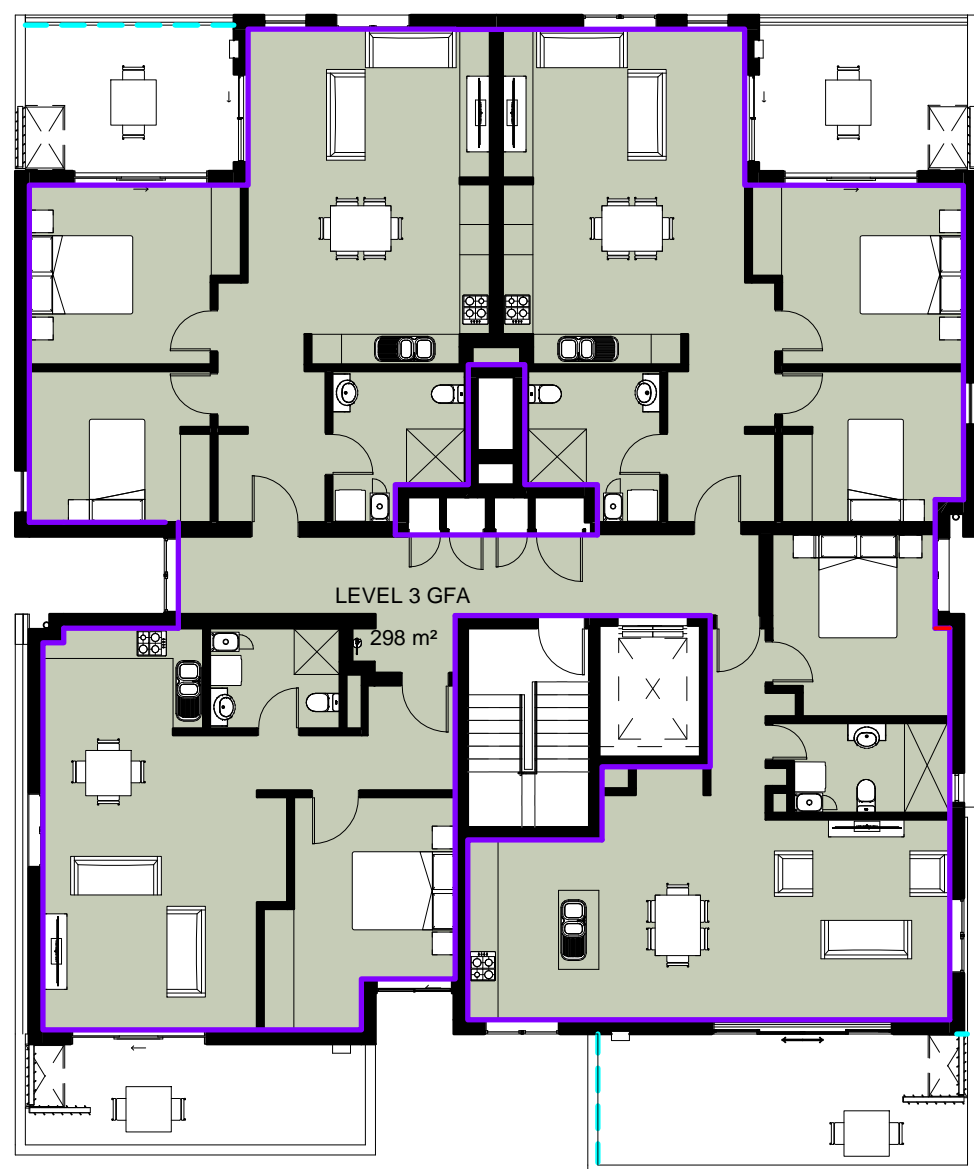


2 Level 1
1 : 150



3 Level 2
1 : 150

GFA SCHEDULE	
Level	Area
Ground Floor	299 m²
Level 1	308 m²
Level 2	308 m²
Level 3	298 m²
Grand total: 4	1212 m²



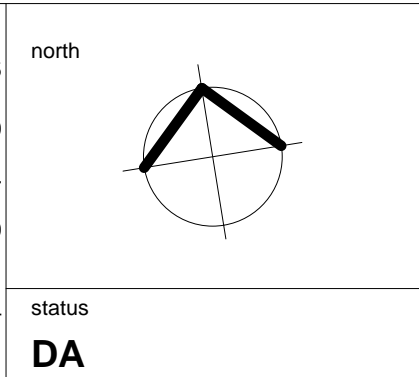
4 Level 3
1 : 150

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rev	amendments	date
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D	CLIENT ISSUE	13/09/2018
E	ISSUE FOR DA	28/09/2018
F	AMENDED DA	16/10/2019
G	REVISED DA ISSUE	12/12/2019

consultants	
structural/civil/ stormwater	Michael Ell Consulting 02 98075355
electrical/hydraulic/ mechanical	Marline 02 49259300
landscape	Susan Stratton 02 95473157
certifier	Dix Gardner 02 82703500
BASIX/Energy	Sustainable Thermal Solutions 0420 312721
traffic	Varga Traffic Planning 02 9904 3224



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E: info@lfa.com.au W: www.lfa.com.au ABN: 92 850 134 905 OM: 550 9001 2008

NOMINATED ARCHITECTS ALF LESTER NO.2128 STEPHEN ANDERS NO.5764

project
RESIDENTIAL HOUSING DEVELOPMENT
8-10 COLLETT PARADE,
PARRAMATTA

client
LAHC

project no. 2017 5430	file path P:\2017 5430 Collett Parade Parramatta\02 DA\CAD ARCH\02 DA
drawing title GFA	drawn AB
drawing no. DA503	project dir <i>Stephen Stratton</i>
rev G	date 10/09/2018
scale 1 : 150	checked SA
@ A1	date plotted 12/12/2019

Door Schedule						
Level	DOOR NO	UNIT	Width	Height	TYPE	
Basement	1-4		850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Basement	1-7		850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Basement	1-8		850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Basement	B2		910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Basement	B5		850	2100	SOLID CORE	
Basement	B6		450	2300	SOLID CORE	
Basement	B7		1380	2100	HINGE GLASS	
Basement	GR		1000	2300	ROLLER DOOR	
Ground Floor	1-1	UNIT 1	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Ground Floor	1-2	UNIT 1	790	2100	SOLID CORE	
Ground Floor	1-3	UNIT 1	910	2100	SOLID CORE	
Ground Floor	1-5	UNIT 1	2700	2400	SLIDING GLASS	
Ground Floor	1-6	UNIT 1	1900	2400	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /33	
Ground Floor	2-1	UNIT 2	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Ground Floor	2-2	UNIT 2	790	2100	SOLID CORE	
Ground Floor	2-3	UNIT 2	670	2100	SOLID CORE	
Ground Floor	2-4	UNIT 2	3600	2400	SLIDING GLASS	
Ground Floor	3-1	UNIT 3	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Ground Floor	3-2	UNIT 3	790	2100	SOLID CORE	
Ground Floor	3-3	UNIT 3	790	2100	SOLID CORE	
Ground Floor	3-4	UNIT 3	790	2100	SOLID CORE	
Ground Floor	3-5	UNIT 3	1740	2400	SLIDING GLASS	
Ground Floor	3-6	UNIT 3	2700	2400	SLIDING GLASS	
Ground Floor	4-1	UNIT 4	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Ground Floor	4-2	UNIT 4	790	2100	SOLID CORE	
Ground Floor	4-3	UNIT 4	790	2100	SOLID CORE	
Ground Floor	4-4	UNIT 4	790	2100	SOLID CORE	
Ground Floor	4-5	UNIT 4	1740	2400	SLIDING GLASS	
Ground Floor	4-6	UNIT 4	2700	2400	SLIDING GLASS	
Ground Floor	G1		1200	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /32	
Ground Floor	G2		910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /39	
Ground Floor	G3		910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /39	
Ground Floor	G4		1380	2100	HINGE GLASS	
Ground Floor	G5		910	2100	SOLID CORE	
Ground Floor	G6		620	2100	/120/120 doors with smoke seals	
Ground Floor	G7		670	2100	SOLID CORE	
Ground Floor	G8		620	2100	SOLID CORE	
Ground Floor	G9		1380	2100	HINGE GLASS	
Ground Floor	G11		920	2040	SOLID CORE	
Level 1	1A	LOBBY	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Level 1	1B	LOBBY	670	2100	SOLID CORE	
Level 1	1C	LOBBY	620	2100	/120/120 doors with smoke seals	
Level 1	1D	LOBBY	910	2100	SOLID CORE	
Level 1	1E	LOBBY	620	2100	SOLID CORE	
Level 1	5-1	UNIT 5	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Level 1	5-2	UNIT 5	910	2100	SOLID CORE	
Level 1	5-3	UNIT 5	790	2100	SOLID CORE	
Level 1	5-4	UNIT 5	2700	2400	SLIDING GLASS	
Level 1	5-5	UNIT 5	1900	2400	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /33	
Level 1	6-1	UNIT 6	850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	
Level 1	6-2	UNIT 6	790	2100	SOLID CORE	
Level 1	6-3	UNIT 6	670	2100	SOLID CORE	
Level 1	6-4	UNIT 6	910	2100	SOLID CORE	
Level 1	6-6	UNIT 6	3600	2400	SLIDING GLASS	
Level 1	7-1	UNIT 7	910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30	

Door Schedule						
Level	DOOR NO	UNIT	Width	Height	TYPE	
Level 1	7-2	UNIT 7 790	2100	SOLID CORE		
Level 1	7-3	UNIT 7 790	2100	SOLID CORE		
Level 1	7-4	UNIT 7 790	2100	SOLID CORE		
Level 1	7-5	UNIT 7 1740	2400	SLIDING GLASS		
Level 1	7-6	UNIT 7 2700	2400	SLIDING GLASS		
Level 1	8-1	UNIT 8 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 1	8-2	UNIT 8 790	2100	SOLID CORE		
Level 1	8-3	UNIT 8 790	2100	SOLID CORE		
Level 1	8-4	UNIT 8 790	2100	SOLID CORE		
Level 1	8-5	UNIT 8 1740	2400	SLIDING GLASS		
Level 1	8-6	UNIT 8 2700	2400	SLIDING GLASS		
Level 2	2A	LOBBY 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 2	2B	LOBBY 670	2100	SOLID CORE		
Level 2	2C	LOBBY 620	2100	/120/120 doors with smoke seals		
Level 2	2D	LOBBY 910	2100	SOLID CORE		
Level 2	2E	LOBBY 620	2100	SOLID CORE		
Level 2	9-1	UNIT 9 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 2	9-2	UNIT 9 790	2100	SOLID CORE		
Level 2	9-3	UNIT 9 910	2100	SOLID CORE		
Level 2	9-4	UNIT 9 2700	2400	SLIDING GLASS		
Level 2	9-5	UNIT 9 1900	2400	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /33		
Level 2	10-1	UNIT 10 850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 2	10-2	UNIT 10 790	2100	SOLID CORE		
Level 2	10-3	UNIT 10 670	2100	SOLID CORE		
Level 2	10-4	UNIT 10 910	2100	SOLID CORE		
Level 2	11-1	UNIT 11 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 2	11-2	UNIT 11 790	2100	SOLID CORE		
Level 2	11-3	UNIT 11 790	2100	SOLID CORE		
Level 2	11-4	UNIT 11 790	2100	SOLID CORE		
Level 2	11-5	UNIT 11 1740	2400	SLIDING GLASS		
Level 2	11-6	UNIT 11 2700	2400	SLIDING GLASS		
Level 2	11-9	UNIT 10 3600	2400	SLIDING GLASS		
Level 2	12-1	UNIT 12 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 2	12-2	UNIT 12 790	2100	SOLID CORE		
Level 2	12-3	UNIT 12 790	2100	SOLID CORE		
Level 2	12-4	UNIT 12 790	2100	SOLID CORE		
Level 2	12-5	UNIT 12 1740	2400	SLIDING GLASS		
Level 2	12-6	UNIT 12 2700	2400	SLIDING GLASS		
Level 3	3A	LOBBY 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 3	3B	LOBBY 670	2100	SOLID CORE		
Level 3	3C	LOBBY 620	2100	/120/120 doors with smoke seals		
Level 3	3D	LOBBY 910	2100	SOLID CORE		
Level 3	3E	LOBBY 620	2100	SOLID CORE		
Level 3	13-1	UNIT 13 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 3	13-2	UNIT 13 910	2100	SOLID CORE		
Level 3	13-3	UNIT 13 790	2100	SOLID CORE		
Level 3	13-4	UNIT 13 2700	2400	SLIDING GLASS		
Level 3	14-1	UNIT 14 850	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 3	14-2	UNIT 14 790	2100	SOLID CORE		
Level 3	14-3	UNIT 14 670	2100	SOLID CORE		
Level 3	14-5	UNIT 14 3600	2400	SLIDING GLASS		
Level 3	15-1	UNIT 15 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 3	15-2	UNIT 15 790	2100	SOLID CORE		
Level 3	15-3	UNIT 15 790	2100	SOLID CORE		
Level 3	15-4	UNIT 15 790	2100	SOLID CORE		
Level 3	15-5	UNIT 15 1740	2400	SLIDING GLASS		
Level 3	15-6	UNIT 15 2700	2400	SLIDING GLASS		
Level 3	16-1	UNIT 16 910	2100	* SELF CLOSING DOOR WITH A MINIMUM FRL OF - / 60 /30		
Level 3	16-2	UNIT 16 790	2100	SOLID CORE		
Level 3	16-3	UNIT 16 790	2100	SOLID CORE		
Level 3	16-4	UNIT 16 790	2100	SOLID CORE		
Level 3	16-5	UNIT 16 1740	2400	SLIDING GLASS		
Level 3	16-6	UNIT 16 2700	2400	SLIDING GLASS		

Window Schedule						
Level	WINDOW NO.	UNIT	Width	Height	TYPE	Sill Height
Basement						
Basement	B1		610		FIXED	1840
Ground Floor						
Ground Floor	1.1	UNIT 1	840	2400	AWNING + F	0
Ground Floor	1.2	UNIT 1	840	2400	AWNING + F	0
Ground Floor	1.3	UNIT 1	1800	600	SLIDING + F	1800
Ground Floor	2.1	UNIT 2	840	2400	AWNING + F	0
Ground Floor	2.2	UNIT 2	1500	1300	AWNING	1100
Ground Floor	2.3	UNIT 2	1800	600	SLIDING + F	1800
Ground Floor	3.1	UNIT 3	840	2400	AWNING + F	0
Ground Floor	3.2	UNIT 3	1500	1300	AWNING	1100
Ground Floor	3.3	UNIT 3	840	1300	AWNING	1100
Ground Floor	4.1	UNIT 4	840	2400	AWNING + F	0
Ground Floor	4.2	UNIT 4	1500	1300	AWNING	1100
Ground Floor	4.3	UNIT 4	840	1300	AWNING	1100
Level 1						
Level 1	1A	LOBBY	1500	2625	AWNING + F	275
Level 1	1B	LOBBY	1500	1300	AWNING	1100
Level 1	5.1	UNIT 5	1500	1300	AWNING	1100
Level 1	5.2	UNIT 5	800	1800	FIXED	1100
Level 1	6.1	UNIT 6	840	1300	AWNING	1100
Level 1	6.2	UNIT 6	1500	1300	AWNING + F	1100
Level 1	6.3	UNIT 6	600	1300	AWNING	1100
Level 1	6.4	UNIT 6	1500	1300	AWNING	1100
Level 1	7.1	UNIT 7	840	2400	AWNING + F	0
Level 1	7.2	UNIT 7	840	1300	AWNING	1100
Level 1	7.3	UNIT 7	1500	1300	AWNING	1100
Level 1	8.1	UNIT 8	840	2400	AWNING + F	0
Level 1	8.2	UNIT 8	840	1300	AWNING	1100
Level 1	8.3	UNIT 8	1500	1300	AWNING	1100
Level 2						
Level 2	2A	LOBBY	1500	2900	SLIDING + F	0
Level 2	2B	LOBBY	1500	1300	AWNING	1100
Level 2	9.1	UNIT 9	1500	1300	AWNING	1100
Level 2	9.2	UNIT 9	800	1800	FIXED	1100
Level 2	10.1	UNIT 10	840	1300	AWNING	1100
Level 2	10.2	UNIT 10	1500	1300	AWNING	1100
Level 2	10.3	UNIT 10	600	1300	AWNING	1100
Level 2	10.4	UNIT 10	1500	1300	AWNING	1100
Level 2	11.1	UNIT 11	840	2400	AWNING + F	0
Level 2	11.2	UNIT 11	1500	1300	AWNING	1100
Level 2	11.3	UNIT 11	840	1300	AWNING	1100
Level 2	12.1	UNIT 12	840	2400	AWNING + F	0
Level 2	12.2	UNIT 12	1500	1300	AWNING	1100
Level 2	12.3	UNIT 12	840	1300	AWNING	1100
Level 3						
Level 3	3A	LOBBY	1500	1300	AWNING	1100
Level 3	13.1	UNIT 13	1500	1300	AWNING	1101
Level 3	13.2	UNIT 13	1500	2900	AWNING + F	0
Level 3	14.1	UNIT 14	840	1300	AWNING	1100
Level 3	14.2	UNIT 14	1500	1300	AWNING	1100
Level 3	14.3	UNIT 14	600	1300	AWNING	1101
Level 3	14.4	UNIT 14	1500	1300	AWNING	1100
Level 3	15.1	UNIT 15	840	2400	AWNING + F	0
Level 3	15.2	UNIT 15	1500	1300	AWNING	1100
Level 3	15.3	UNIT 15	840	1300	AWNING	1100
Level 3	16.1	UNIT 16	840	2400	AWNING + F	0
Level 3	16.2	UNIT 16	1500	1300	AWNING	1100
Level 3	16.3	UNIT 16	840	1300	AWNING	1100